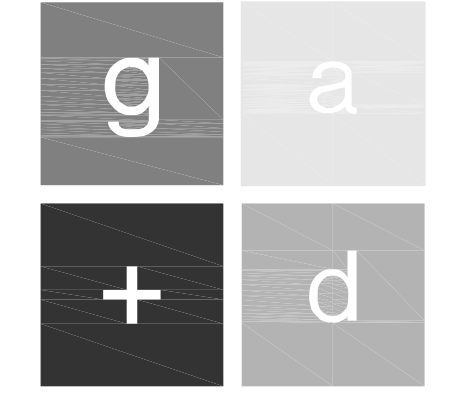


### Sheet Reference Notes

- 1 REPLACE EXISTING SIDEWALK, CURB & GUTTER PER CITY PARKWAY STANDARDS
- 2 REPLACE EXISTING ADA CURB RAMP WITH CITY STANDARD C-11 CURB EXTENSION
- 3 NEW AC PAVING AREA
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- 5 4" WIDE WHITE PAVEMENT STRIPING AND/OR PAVEMENT MARKING
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- 20 NEW PG&E PAD MOUNTED TRANSFORMER AND PAD. LOCATION PER ELECTRICAL ENGINEER. REFER TO PG&E HANDOUT PACKAGE FOR ADDITIONAL INFORMATION.
- 21 EXISTING BUS STOP SHELTER
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- 23 NEW 4" FIRE LINE
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- 25 NEW 1" WATER METER PER CITY OF PASO ROBLES STANDARDS
- 26 CITY STREET TREES TO REMAIN
- 27 P.O.C. FOR NEW BUILDING GAS SERVICE; CONNECT TO GAS METER MANIFOLD ARRAY
- 28 NEW GAS METER MANIFOLD LOCATION
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- 32 INSTALL ACCESSIBLE PARKING SIGN AT ENTRANCE TO PARKING LOT, REFER TO ADA / TITLE 22 FOR ADDITIONAL INFORMATION
- 33 UNDERGROUND STORM WATER STORAGE CHAMBER
- 34 NEW STORMWATER DRAINAGE BIOSWALE
- 35 NEW 6' TALL CMU OR CONCRETE TRASH ENCLOSURE W/METAL GATES
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- 43 NEW STREET TREE; SPACING AND SPECIES PER CITY STANDARDS
- 44 INSTALL NEW COBRA-HEAD LIGHT STANDARD PER CITY AND PG&E STANDARDS
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### Legend

- PL PROPERTY LINE
- R RADIUS
- S SEWER
- W WATER
- F FIRE
- U UTILITIES (WIRE UTILITIES: PG&E, AT&T, CABLE)



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George Garcia, AIA C-24540



consultant:

project:  
**Tobin James Mixed Use**  
 1745 Spring Street  
 Paso Robles, CA  
 93446

applicant / owner:  
**Tobin James**  
 5033 Vineyard Drive  
 Paso Robles, CA  
 93446

sheet title:  
**Site Plan**  
**Utility Plan**

revision:

rev.	description	issue date by
4TH	PLANNING ENTITLEMENT SUBMITTAL SET	23/08/21
5TH	PLANNING ENTITLEMENT SUBMITTAL SET	23/09/23

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 ga+d job no: 20220747  
 CAD file:  
 drawn by:  
 plot date:

sheet:

# AS1.1



### Preliminary Plant List

WUCOLS	BOTANICAL NAME / COMMON NAME
48" BOX VL	OLEA EUROPEA WILSONII / MULTI-TRUNK FRUITLESS OLIVE TREE
24" BOX L	OLEA EUROPEA WILSONII / FRUITLESS OLIVE MULTI-TRUNK

LARGE SHRUBS (5 - 15 GAL)	WUCOLS	BOTANICAL NAME / COMMON NAME
	BL	AGAVE HARVARDIANA
	VL	CANDELABRA ALOE / ALOE ARBORESCENS
	L	PITOSPORUM TENIFOLIUM / PITOSPORUM SILVER SHEEN
	VL	ANIGOZANTHOS ORANGE CROSS / ORANGE KANGAROO PAW

SHRUBS (1 - 5 GAL)	WUCOLS	BOTANICAL NAME / COMMON NAME
	L	OLEA EUROPEA MONTRA / OLIVE BUSH
	L	AGAVE SHAWII X ATTENUATA / AGAVE BLUE FLAME
	L	ALOE STRATIATA / CORAL ALOE
	L	ROSEMARINUS OFFICINALIS TUSCAN BLUE / ROSEMARY
	L	CRASSIFOLIUM COMPACTUM NANA COMPACTA / PITOSPORUM

GROUNDCOVER (1 GAL)	WUCOLS	BOTANICAL NAME / COMMON NAME
	L	ROSEMARY OFFICINALIS "PROSTRATUS" / ROSEMARY
	L	ECHVEVERIA "IMBICATA" / HENS & CHICKENS
	L	ARCTIPSTA PHYLLOSITOOKERI / MONTEREY CARPET MANZANITA
	L	SENECIO TALINOIDES VAR. MARDRALISCAE / CHALKSTICKS
	L	SENECIO TALINOIDES VAR. MARDRALISCAE / CHALKSTICKS

BIO / INFILTRATION GARDEN	WUCOLS	BOTANICAL NAME / COMMON NAME
	L	SENECIO TALINOIDES VAR. MARDRALISCAE / CHALKSTICKS
	L	SENECIO TALINOIDES VAR. MARDRALISCAE / CHALKSTICKS

### Sheet Reference Notes

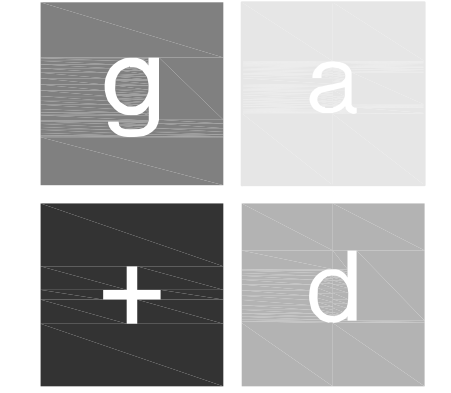
1. OUTLINE OF BUILDING OR ROOF ABOVE
2. NEW AC PAVING OR CONCRETE FLATWORK AREA
3. NEW PERVIOUS PAVERS
4. NEW STREET TREE; SPACING AND SPECIES PER CITY STANDARDS
5. NEW TRASH ENCLOSURE

### General Notes

1. PLANT FACTORS ARE BASED ON WUCOLS LATEST EDITION, ADJUSTED FOR LOCAL CLIMATE AND SOIL TYPE.
2. ALL AREAS WITHOUT PLANTED GROUNDCOVER SHALL RECEIVE 2" MIN. OF CRUSHED GRAVEL OR D.G.
3. IRRIGATION SYSTEM CONTROLLERS SHALL BE WEATHER BASED.
4. SPRAY HEADS SHALL BE ADJUSTED TO ELIMINATE ANY OVER-SPRAY AND RUNOFF FROM ADJACENT IMPERVIOUS SURFACES.

### Legend

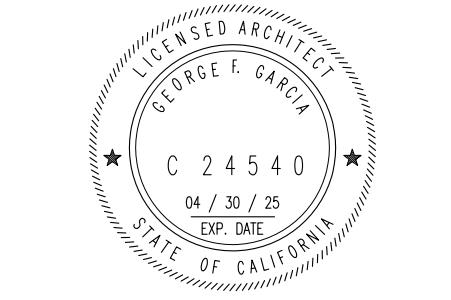
GAL	GALLON (CONTAINER SIZE)
WUCOLS	WATER USE CLASSIFICATION OF LANDSCAPE SPECIES
L	LOW WATER USAGE PER WUCOLS
VL	VERY LOW WATER USAGE PER WUCOLS
NCN	NO COMMON NAME



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seal:



consultant:

project:

**Tobin James Mixed Use**  
 1745 Spring Street  
 Paso Robles, CA  
 93446

applicant / owner:

**Tobin James**  
 5033 Vineyard Drive  
 Paso Robles, CA  
 93446

sheet title:

**Landscape Plan**

revision:

rev.	description	issue date by
4TH	PLANNING ENTITLEMENT SUBMITTAL SET	23/08/21
5TH	PLANNING ENTITLEMENT SUBMITTAL SET	23/09/21

legal stuff:

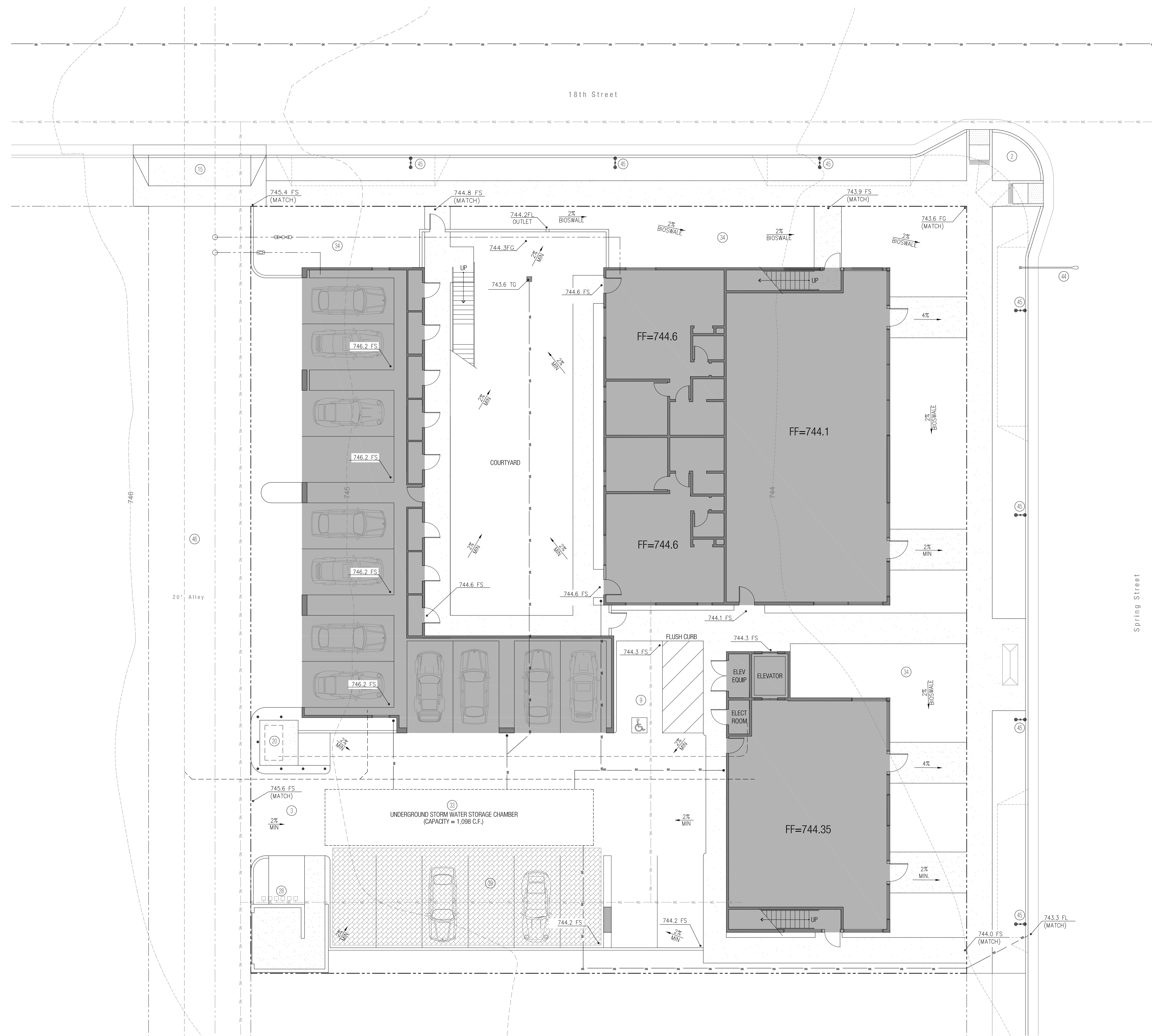
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ga+d job no: 20220747  
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 plot date:

sheet:

**L1.1**



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**Stormwater Requirements**

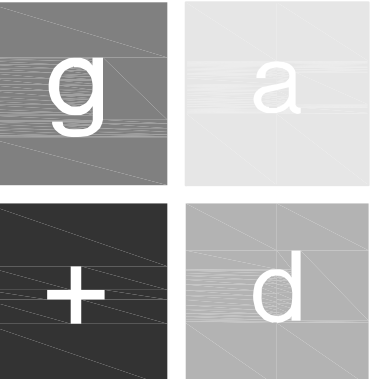
EXISTING PROJECT SITE AREA: 21,000 S.F. / 0.48 ACRES  
 WMZ: 4  
 EXISTING IMPERVIOUS AREA: 0 S.F. / 0 ACRES  
 EXISTING PERVIOUS AREA: 21,000 S.F. / 0.48 ACRES

NEW ON-SITE PERVIOUS AREA: 10,366 S.F.  
 NEW OFF-SITE (REPLACEMENT) IMPERVIOUS AREA: 4,270 S.F.

- PR1 - SITE DESIGN + RUNOFF REDUCTION
- PR2 - WATER QUALITY TREATMENT  
 LID RETENTION  
 85TH PERCENTILE = 0.9"  
 TOTAL ON-OFF SITE IMPERVIOUS AREA = 14,636 S.F. ... PQR-2 LEVEL REQUIRED
- REQD. VOLUME = 14,636 S.F. X 0.9" = 1,098 C.F.

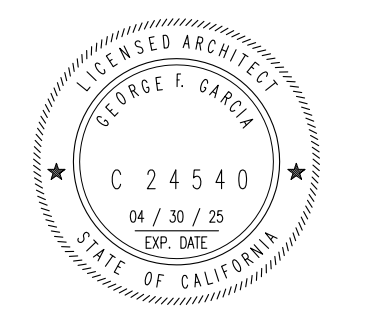
**General Site Notes**

1. GRADE SHALL SLOPE A MINIMUM OF 5% FOR A DISTANCE OF 10' AWAY FROM NEW BUILDING FOOTPRINT OR 2% WHEN SURFACE IS IMPERVIOUS.



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consultant:

project:  
**Tobin James Mixed Use**  
 1745 Spring Street  
 Paso Robles, CA  
 93446

applicant / owner:  
**Tobin James**  
 5033 Vineyard Drive  
 Paso Robles, CA  
 93446

sheet title:  
**Prelim Grading & Drainage Plan**

revision:

rev.	description	issue date by
4TH	PLANNING ENTITLEMENT SUBMITTAL SET	23/09/21
5TH	PLANNING ENTITLEMENT SUBMITTAL SET	23/09/21

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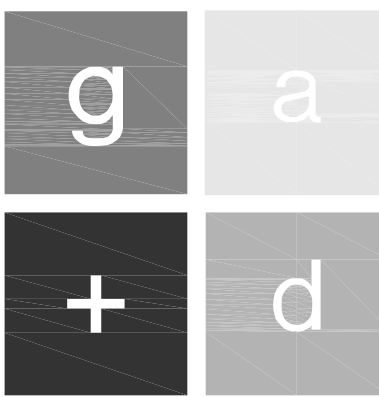
sheet data:  
 ga+d job no: 20220747  
 CAD file:  
 drawn by:  
 plot date:

sheet:

**C1.1**

**Preliminary Grading & Drainage Plan**  
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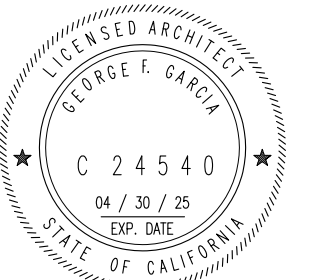




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 Paso Robles, CA  
 93446

sheet title:

1st Floor Plan

revision:

rev.	description	issue date by
4TH	PLANNING, ENTITLEMENT SUBMITTAL SET	23/08/21
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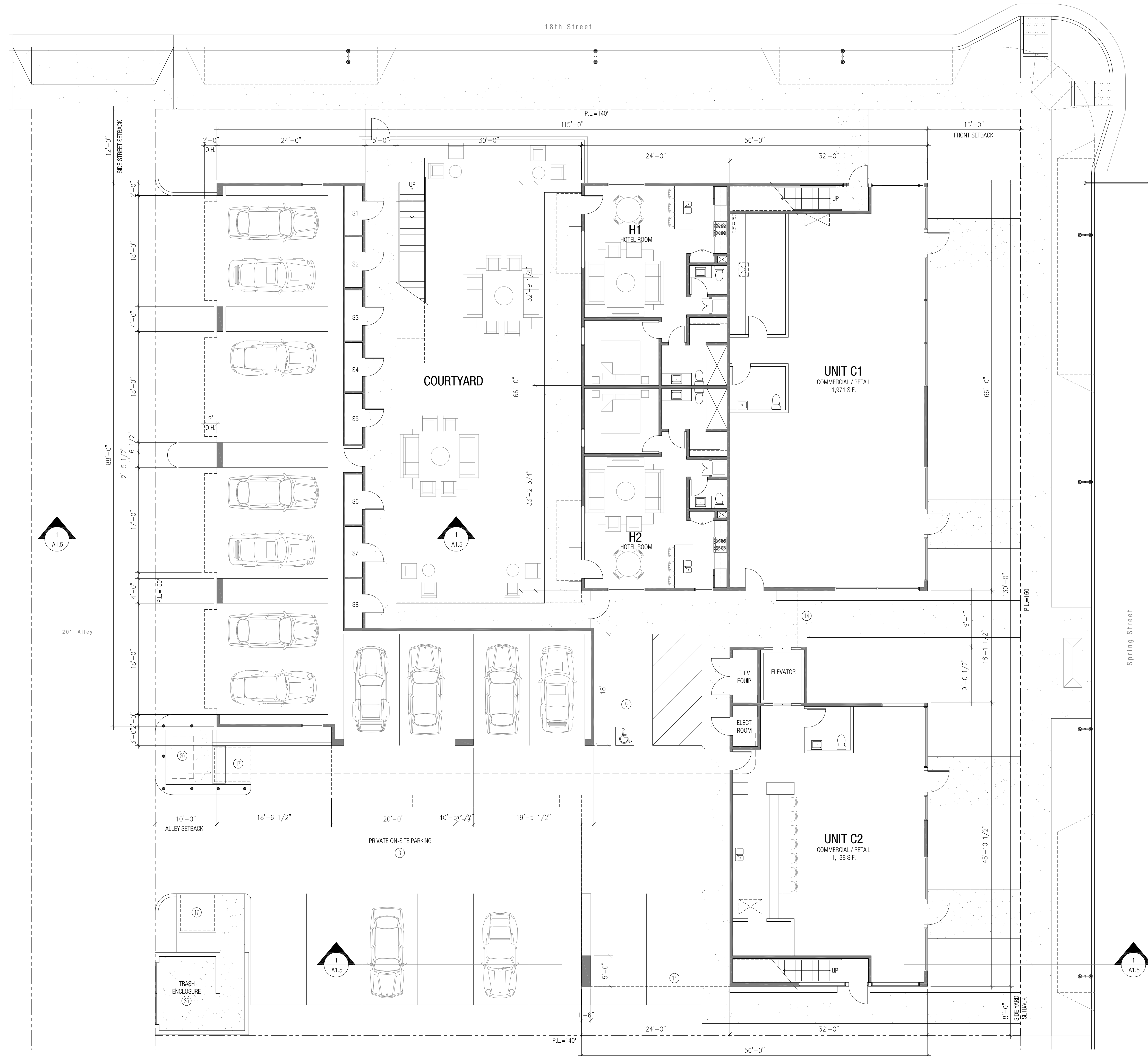
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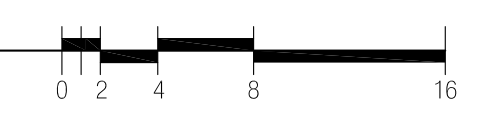
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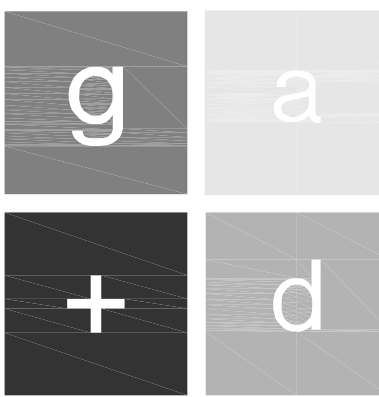
### Legend

- PL PROPERTY LINE
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**First Floor Plan**  
 SCALE: 1/8" = 1'-0"

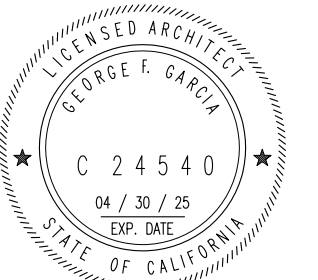




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 93446

applicant / owner:

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 5033 Vineyard Drive  
 Paso Robles, CA  
 93446

sheet title:

2nd Floor Plan

revision:

rev.	description	issue date by
4TH	PLANNING ENTITLEMENT SUBMITTAL SET	23/08/21
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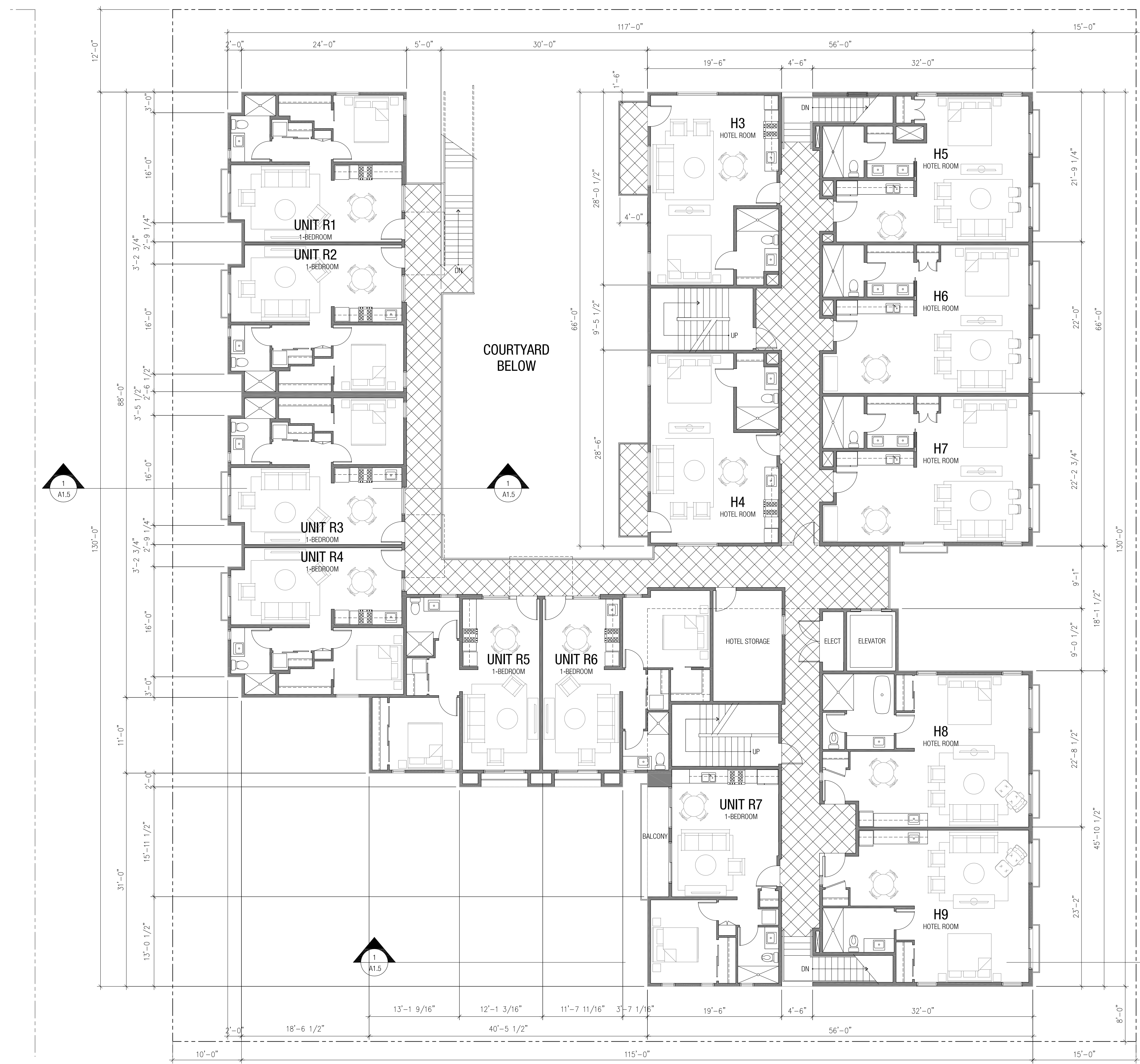
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### Sheet Reference Notes

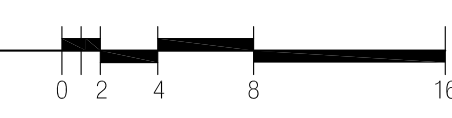
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- 28 NEW GAS METER MANIFOLD LOCATION
- 29 2" WATER SERVICE. REFER TO PLUMBING PLANS FOR CONTINUATION OF WATER INSIDE BUILDING
- 30 6' TALL PRIVACY WALL
- 31 INDICATES LOCATION OF DOWNSPOUT AND/OR STORM DRAIN LINE TO U.G. STORM WATER STORAGE CHAMBER
- 32 INSTALL ACCESSIBLE PARKING SIGN AT ENTRANCE TO PARKING LOT, REFER TO ADA / TITLE 22 FOR ADDITIONAL INFORMATION
- 33 UNDERGROUND STORM WATER STORAGE CHAMBER
- 34 NEW STORMWATER DRAINAGE BIOSWALE
- 35 NEW 6" TALL CMU OR CONCRETE TRASH ENCLOSURE W/METAL GATES
- 36 SECURITY / SAFETY BOLLARDS
- 37 INDICATES ROLLED / MOUNTABLE CURB
- 38 EXISTING UTILITIES LOCATED IN ALLEY
- 39 INDICATES PERMEABLE PAVER / STORMWATER OFFSET AREA
- 40 NEW SEWER LINE
- 41 REPLACE EXISTING DRIVEWAY WITH STANDARD CITY SIDEWALK
- 42 UNDERGROUND STORM WATER STORAGE CHAMBER; SEE C1.1 GRADING & DRAINAGE PLAN
- 43 NEW STREET TREE; SPACING AND SPECIES PER CITY STANDARDS
- 44 INSTALL NEW COBRA-HEAD LIGHT STANDARD PER CITY AND PG&E STANDARDS
- 45 INSTALL NEW DECORATIVE STREET LIGHTS AS SHOWN; FIXTURE TO MATCH FIXTURE AT "PASO WALK" FRONTAGES
- 46 EXISTING ALLEY TO BE REPAVED TO THE SATISFACTION OF THE CITY ENGINEERING / PUBLIC WORKS DEPARTMENT

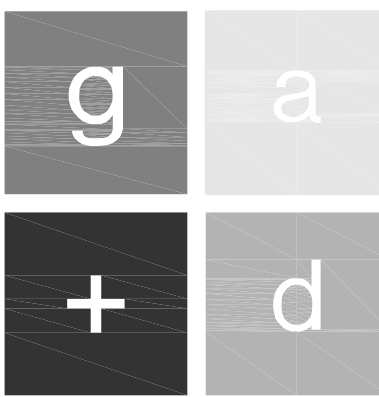
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- S SEWER
- W WATER
- F FIRE
- U UTILITIES (WIRE UTILITIES: PG&E, AT&T, CABLE)



Second Floor Plan  
 SCALE: 1/8" = 1'-0"

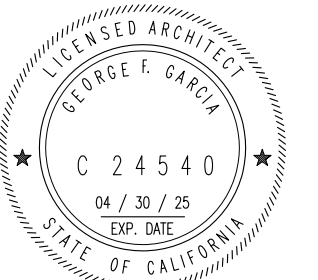




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seal:



consultant:

project:  
**Tobin James Mixed Use**  
 1745 Spring Street  
 Paso Robles, CA  
 93446

applicant / owner:

**Tobin James**  
 5033 Vineyard Drive  
 Paso Robles, CA  
 93446

sheet title:  
**3rd Floor Plan**

revision:

rev.	description	issue date by
4TH	PLANNING ENTITLEMENT SUBMITTAL SET	23/08/21
5TH	PLANNING ENTITLEMENT SUBMITTAL SET	23/09/21

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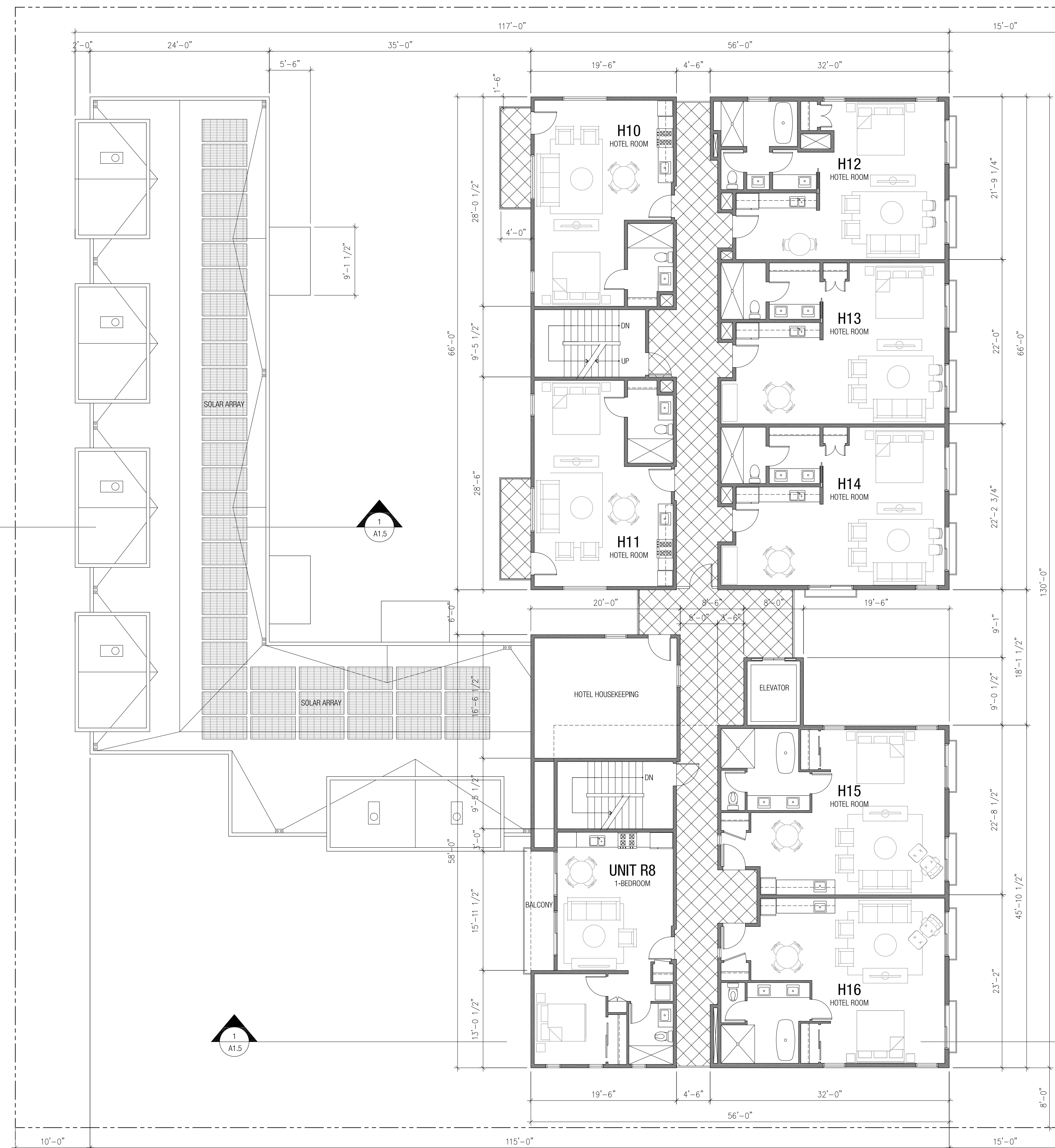
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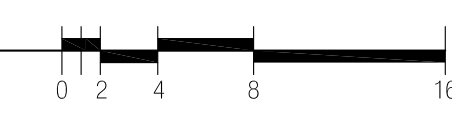
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- 2 REPLACE EXISTING ADA CURB RAMP WITH CITY STANDARD C-11 CURB EXTENSION
- 3 NEW AC PAVING AREA
- 4 NEW CONCRETE FLATWORK AREA
- 5 4" WIDE WHITE PAVEMENT STRIPING AND/OR PAVEMENT MARKING
- 6 NEW 6" CONCRETE CURB
- 7 NEW CONCRETE FLATWORK PER CITY STANDARDS
- 8 ACCESSIBLE RESTROOM SEE ARCHITECTURAL PLANS
- 9 ACCESSIBLE PARKING SPACE WITH VAN OFFLOAD AREA
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- 11 ACCESSIBLE PATH OF TRAVEL FROM PUBLIC R.O.W.
- 12 ACCESSIBLE PATH OF TRAVEL PER CBC 11B-206.1, 11B-402.1
- 13 3" DEEP TACTILE WARNING, TYPICAL. PER CBC 11B-247.1
- 14 INDICATES LINE OF SOFFIT ABOVE
- 15 REPLACE EXISTING ALLEY DRIVEWAY APRON PER CITY STANDARD C-5 ALLEY APPROACH
- 16 INDICATES LINE OF ROOF ABOVE
- 17 PARKING FOR (5) BICYCLE SPACES VIA 5 SPACE "PEAK" RACK
- 18 NEW LANDSCAPING AREA
- 19 PROJECT MONUMENT SIGN
- 20 NEW PG&E PAD MOUNTED TRANSFORMER AND PAD. LOCATION PER ELECTRICAL ENGINEER. REFER TO PG&E HANDOUT PACKAGE FOR ADDITIONAL INFORMATION.
- 21 EXISTING BUS STOP SHELTER
- 22 GAS LINE STUB TO SITE PER CIVIL PLANS, LOCATION TO BE VERIFIED IN FIELD
- 23 NEW 4" FIRE LINE
- 24 NEW FIRE DETECTOR CHECK ASSEMBLY (DCA); SCREEN WITH LANDSCAPING PER LANDSCAPE PLAN.
- 25 NEW 1" WATER METER PER CITY OF PASO ROBLES STANDARDS
- 26 CITY STREET TREES TO REMAIN
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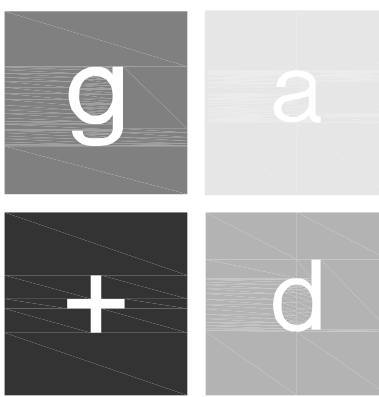
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- PL PROPERTY LINE
- R RADIUS
- S SEWER
- W WATER
- F FIRE
- U UTILITIES (WIRE UTILITIES: PG&E, AT&T, CABLE)



**Third Floor Plan**  
 SCALE: 1/8" = 1'-0"

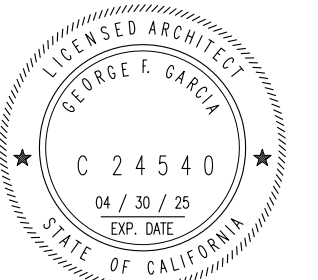




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 93446

applicant / owner:

**Tobin James**  
 5033 Vineyard Drive  
 Paso Robles, CA  
 93446

sheet title:

**Roof Plan**

revision:

rev.	description	issue date by
4TH	PLANNING, ENTITLEMENT SUBMITTAL SET	23/08/21
5TH	PLANNING, ENTITLEMENT SUBMITTAL SET	23/09/21

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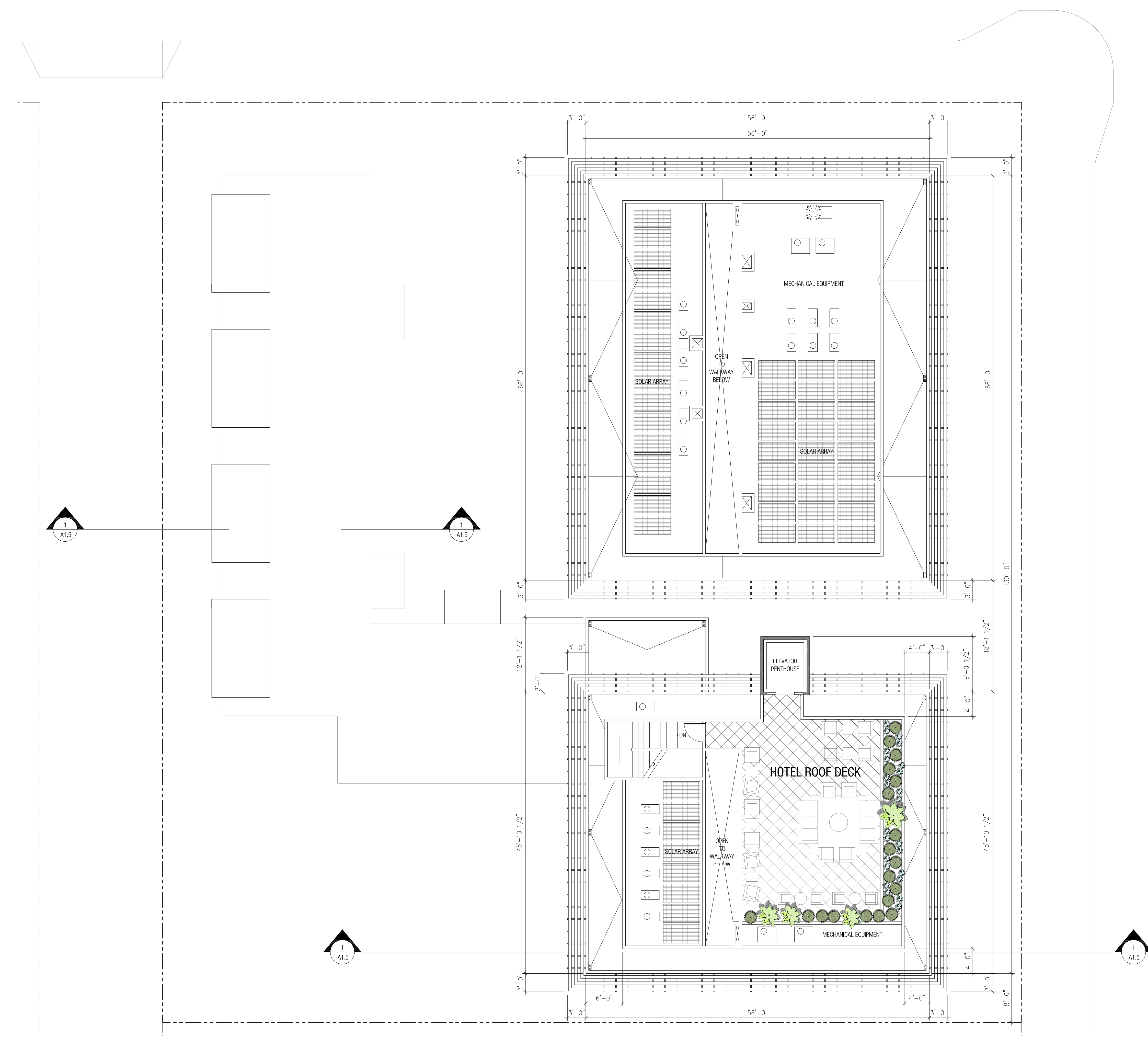
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**Sheet Reference Notes**

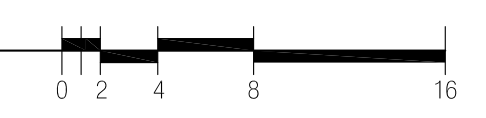
- 1 REPLACE EXISTING SIDEWALK, CURB & GUTTER PER CITY PARKWAY STANDARDS
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- 16 INDICATES LINE OF ROOF ABOVE
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**Legend**

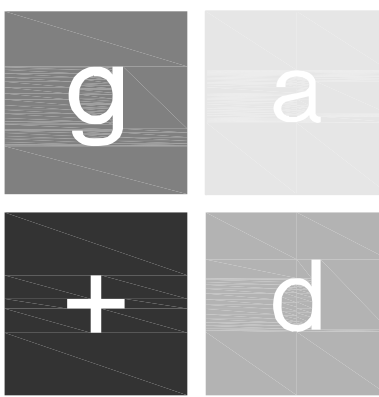
- PL PROPERTY LINE
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- S SEWER
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- F FIRE
- U UTILITIES (WIRE UTILITIES: PG&E, AT&T, CABLE)



**Roof Plan**  
 SCALE: 1/8" = 1'-0"



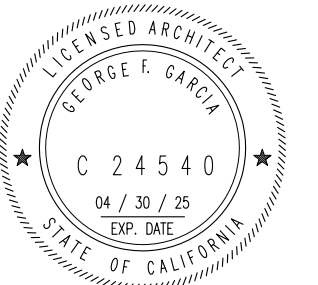




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project:  
**Tobin James Mixed Use**  
 1745 Spring Street  
 Paso Robles, CA  
 93446

applicant / owner:  
**Tobin James**  
 5033 Vineyard Drive  
 Paso Robles, CA  
 93446

sheet title:  
**Building Section**

revision:

rev.	description	issue date by
1	4TH PLANNING ENTITLEMENT SUBMITTAL SET	03/08/21

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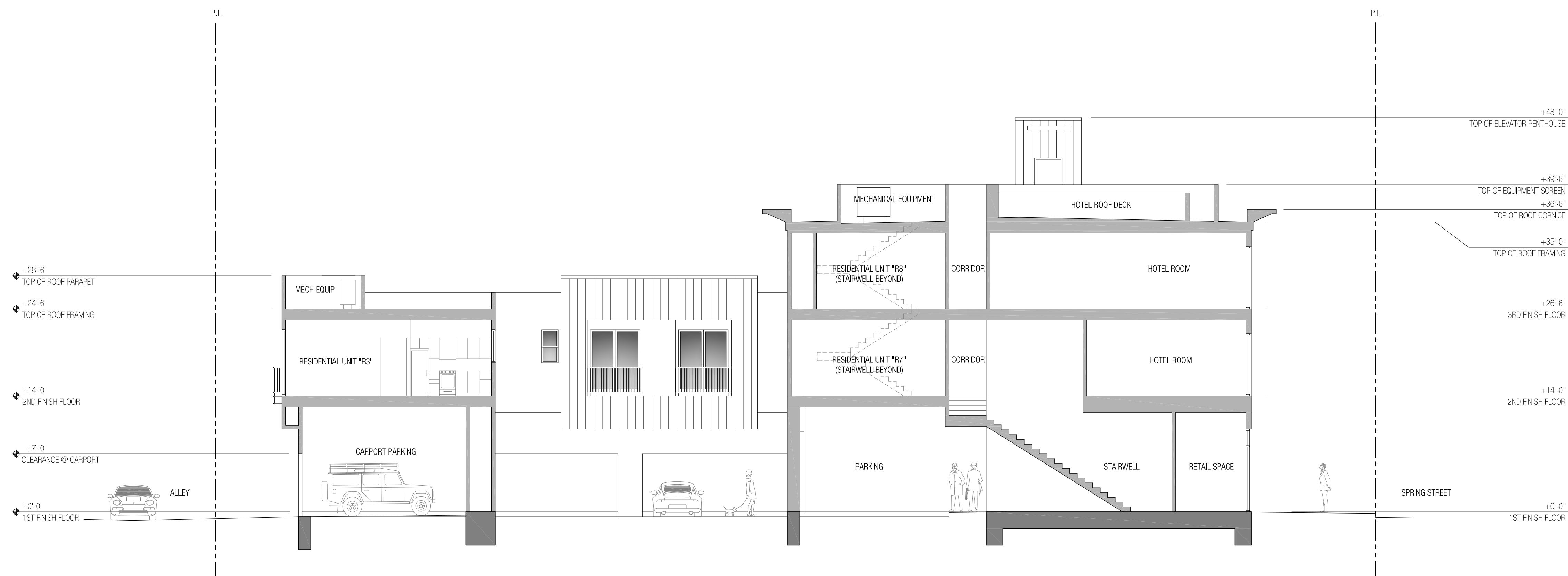
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 CAD file:  
 drawn by:  
 plot date:

sheet:

**A1.5**

### Sheet Reference Notes

- ① EXISTING CONCRETE CURB, GUTTER, SIDEWALK AND/OR PARKWAY TO REMAIN
- ② EXISTING ACCESSIBLE CURB RAMP TO REMAIN
- ③ NEW AC PAVING AREA
- ④ NEW CONCRETE FLATWORK AREA
- ⑤ 4" WIDE WHITE PAVEMENT STRIPING AND/OR PAVEMENT MARKING
- ⑥ NEW 6" CONCRETE CURB
- ⑦ NEW 4" THICK CONCRETE FLATWORK
- ⑧ ACCESSIBLE RESTROOM SEE ARCHITECTURAL PLANS
- ⑨ ACCESSIBLE PARKING SPACE WITH VAN OFFLOAD AREA
- ⑩ ACCESSIBLE PATH OF TRAVEL FROM ACCESSIBLE PARKING SPACE
- ⑪ ACCESSIBLE PATH OF TRAVEL FROM PUBLIC R.O.W.
- ⑫ ACCESSIBLE PATH OF TRAVEL PER CBC 11B-206.1, 11B-402.1
- ⑬ 3' DEEP TACTILE WARNING, TYPICAL. PER CBC 11B-247.1
- ⑭ INDICATES LINE OF SOFFIT ABOVE
- ⑮ REPLACE EXISTING DRIVEWAY APRON CITY NEW APRON PER CITY STANDARDS
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- ㊸ NEW STREET TREE; SPACING AND SPECIES PER CITY STANDARDS



1 East / West Building Section Looking North

SCALE: 1/8" = 1'-0"





Rendering / View from Intersection of Spring Street & 18th Street Looking Southwest

NO SCALE

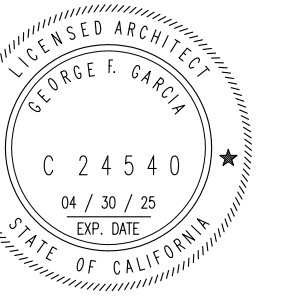


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Tobin James Mixed Use  
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 93446

applicant / owner:

Tobin James  
 5033 Vineyard Drive  
 Paso Robles, CA  
 93446

sheet title:

Renderings

revision:

rev. description	issue date by
4TH PLANNING, ENTITLEMENT, SUBMITTAL SET	23.08.21

legal stuff:

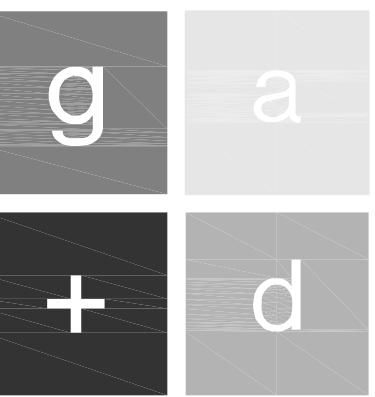
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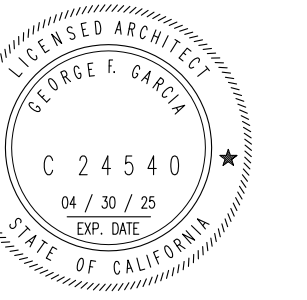


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sheet title:

Renderings

revision:

rev.	description	issue date by
1	4TH PLANNING ENTITLEMENT SUBMITTAL SET	23/08/21

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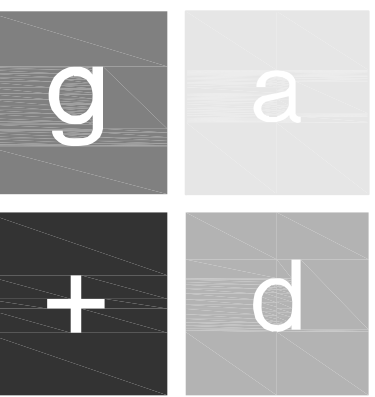
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Rendering / View from 18th Street Looking Southeast

NO SCALE

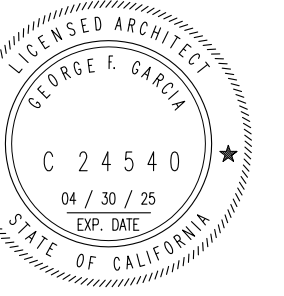


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Renderings

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1	4TH PLANNING ENTITLEMENT SUBMITTAL SET	23.08.21

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ga+d job no: 20220747  
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plot date:

sheet:

A2.3



Alley

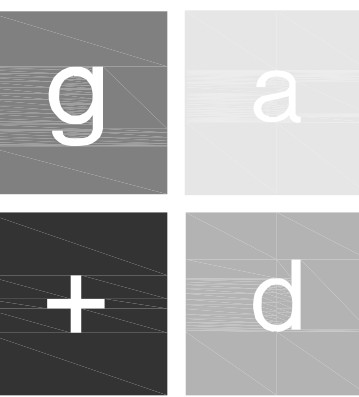
Rendering / View from Alley Looking Northeast

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Rendering / Spring Street Looking Northwest

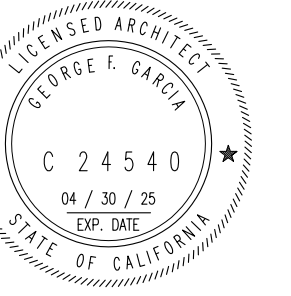
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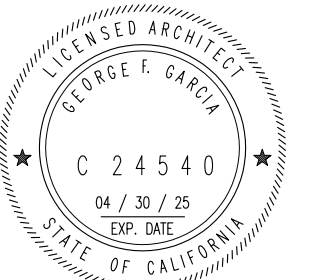
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14th PLANNING ENTITLEMENT SUBMITTAL SET	23.08.25

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 ga+d job no: 20220747  
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 plot date:

sheet:

A2.4



## Exterior Color + Materials Reference Notes

### Material Specifications:

- 1 McELROY "MEDALLION-LOK" 12" WIDE STANDING SEAM METAL PANELS
- 2 METAL BALCONY RAILINGS AND DECKING
- 3 WHITE OAK COMMERCIAL DOORS AND WINDOW STOREFRONTS
- 4 SMOOTH STEEL-TROWELED VENETIAN PLASTER
- 5 ALUMINUM CLAD WINDOWS & DOORS
- 6 ARCHITECTURAL / STRUCTURAL STEEL
- 7 ARCHITECTURAL SHEET METAL / DECORATIVE COPING
- 8 2X2 VERTICAL WHITE OAK WOOD FENCING
- 9 STEEL CORNICE ELEMENT
- 10 "NEUTRA STYLE" ADDRESS NUMBERS 12" TALL

### Color Specifications:

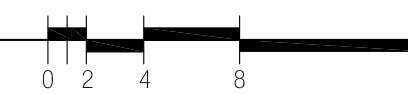
- A MATTE BLACK  
FACTORY KYNAR 500® (PVDF) FINISH
- C SIERRA PACIFIC "WHITE OAK"  
CLEAR-STAINED FINISH
- D NATURAL VENETIAN PLASTER "CEMENT"  
BENJAMIN MOORE 2112-60 CEMENT GRAY; SATIN FINISH
- E BLACK CHARCOAL PAINT  
BENJAMIN MOORE 2134-30 IRON MOUNTAIN; SATIN FINISH
- H CHARCOAL TRIM, DECORATIVE METAL, COPING, METAL ACCENT  
BENJAMIN MOORE 2125-10 "BLACK PANTHER"; SATIN FINISH
- I BLACK DOORS / WINDOWS / METAL TRIM COLOR  
BENJAMIN MOORE 2120-20 "BLACK IRON"; SATIN FINISH
- K 2X2 VERTICAL WOOD FENCING W/4" GAP  
BEHR "HARVEST BROWN" STAIN #7100-4

## Exterior Color + Materials Samples



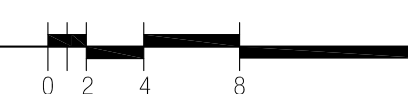
East Elevation / Spring Street

SCALE: 1/8" = 1'-0"



North Elevation / 18th Street

SCALE: 1/8" = 1'-0"



project:

Tobin James Mixed Use  
1745 Spring Street  
Paso Robles, CA  
93446

applicant / owner:

Tobin James  
5033 Vineyard Drive  
Paso Robles, CA  
93446

sheet title:

Elevations

revision:

rev.	description	issue date by
1	4TH PLANNING ENTITLEMENT SUBMITTAL SET	23.08.15

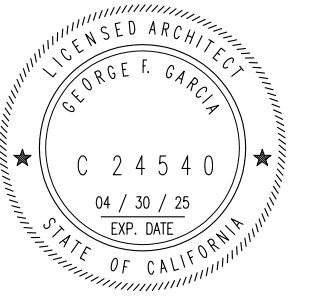
legal stuff:

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sheet data:

ga+d job no: 20220747  
CAD file:  
drawn by:  
plot date:

sheet:



## Exterior Color + Materials Reference Notes

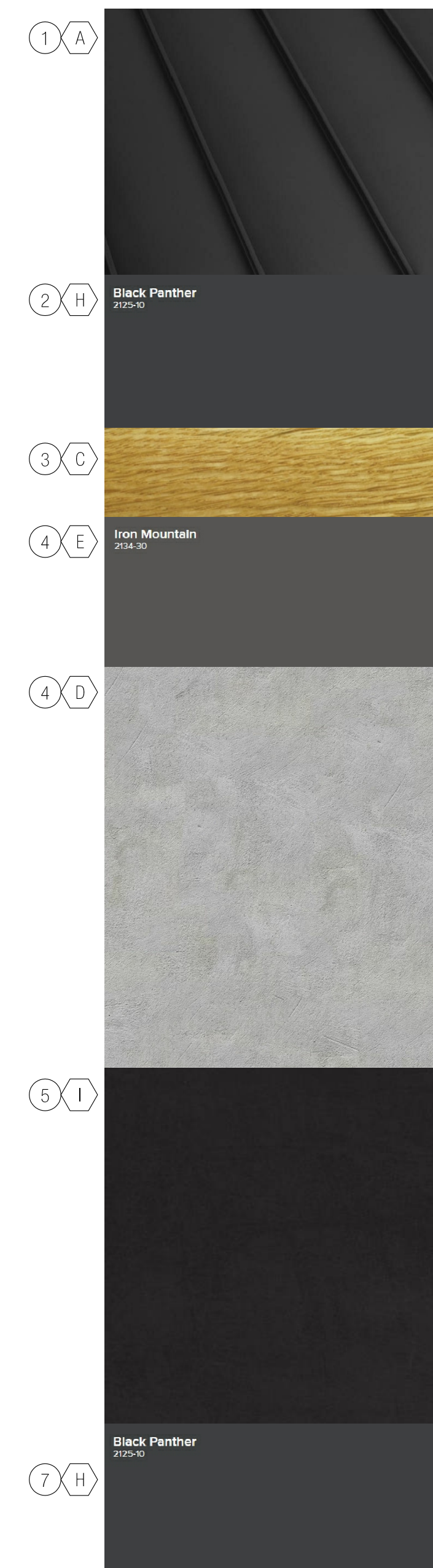
### Material Specifications:

- 1 McELROY "MEDALLION-LOK" 12" WIDE STANDING SEAM METAL PANELS
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## Exterior Color + Materials Samples



project:

**Tobin James Mixed Use**  
 1745 Spring Street  
 Paso Robles, CA  
 93446

applicant / owner:

**Tobin James**  
 5033 Vineyard Drive  
 Paso Robles, CA  
 93446

sheet title:

**Elevations**

revision:

rev.	description	issue date by
1	4TH PLANNING ENTITLEMENT SUBMITTAL SET	23.08.21

legal stuff:

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sheet data:

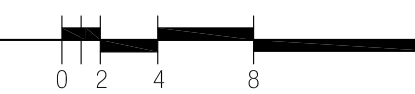
ga+d job no: 20220747  
 CAD file:  
 drawn by:  
 plot date:

sheet:



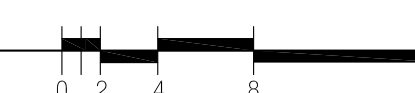
**West Elevation / Alley**

SCALE: 1/8" = 1'-0"



**South Elevation**

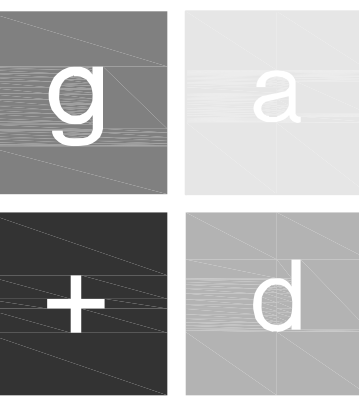
SCALE: 1/8" = 1'-0"





**Aerial Rendering**

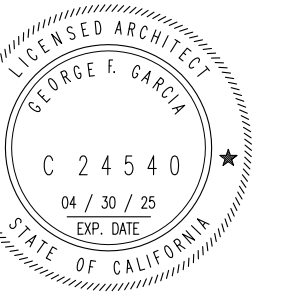
NO SCALE



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George Garcia, AIA C-24540

seal:



consultant:

project:  
 Tobin James Mixed Use  
 1745 Spring Street  
 Paso Robles, CA  
 93446

applicant / owner:  
 Tobin James  
 5033 Vineyard Drive  
 Paso Robles, CA  
 93446

sheet title:  
**Aerial Rendering**

revision:

rev.	description	issue date by
1	4TH PLANNING ENTITLEMENT SUBMITTAL SET	23.08.21

legal stuff:

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ga+d job no: 20220747  
 CAD file:  
 drawn by:  
 plot date:

sheet:

**A4.1**