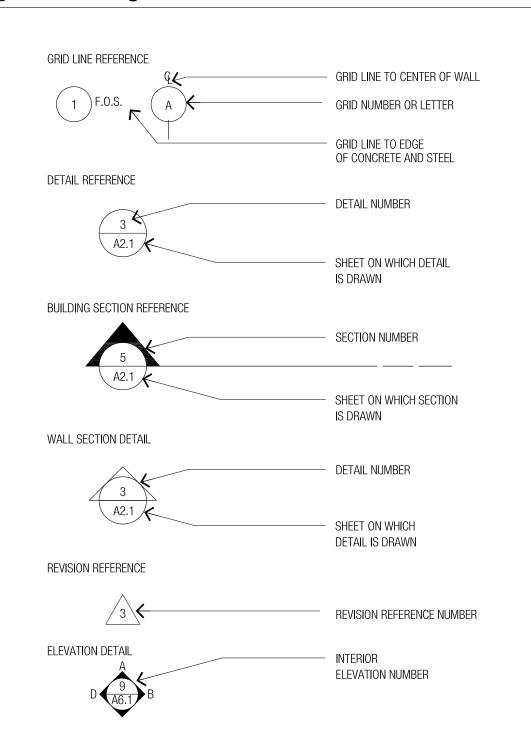
1745 Spring Street, Paso Robles, California, 93446

Symbols Legend



Deferred Submittals / Separate Permits

1. A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY OR WITHIN CITY EASEMENTS FOR CONNECTIONS TO PUBLIC UTILITIES. WORK REQUIRING AN ENCROACHMENT PERMIT INCLUDES BUT IS NOT LIMITED TO DEMOLITIONS, UTILITIES, WATER, SEWER, FIRE SERVICE LATERALS, CURB, GUTTER, AND SIDEWALK, DRIVEWAY APPROACHES, SIDEWALK UNDER-DRAINS, STORM DRAIN IMPROVEMENTS, STREET TREE PLANTING OR PRUNING, CURB RAMPS, STREET PAVING, AND PEDESTRIAN PROTECTION OR

Plumbing Fixture and Fittings Schedule

FIXTURE TYPE	MAX FLOW RATE	NOTES
SHOWERHEADS	2 GPM @ 80 PSI	
LAVATORY FAUCETS	1.2 GPM @ 60 PSI	LAVATORY FAUCETS SHALL NOT HAVE A FLOW RATE LESS THAN 0.8 GPM AT 20 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI	
TANK-TYPE WATER CLOSETS	1.28 GALLONS/FLUSH	SINGLE + DUAL FLUSH WATER CLOSETS WITH EFFECTIVE

PLUMBING FIXTURE AND FITTINGS NOTES: PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS AND LIMITS FOR INDOOR WATER USE IN CALGREEN 4.303.1

Applicable Governing Codes:

- CALIFORNIA BUILDING CODE, VOLUMES 1+2 (BASED ON 2018 IBC) CALIFORNIA ELECTRIC CODE (2017 NEC)
- CALIFORNIA MECHANICAL CODE (2018 UMC)
- CALIFORNIA PLUMBING CODE (2015 UPC)
- CALIFORNIA GREEN BUILDING CODE CALIFORNIA FIRE CODE (2015 IFC)
- CALIFORNIA ENERGY CODE

CITY OF PASO ROBLES MUNICIPAL CODE CALIFORNIA GOVERMENT CODE SECTIONS 65915 - 65918

Calgreen Mandatory Measures

- CONSTRUCTION. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, COLLECTION POINT, GUTTER OR SIMILAR DISPOSAL METHOD, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER METHOD APPROVED BY THE ENFORCING AGENCY. CALGREEN 4.106.2.2
- WATER CONSERVING PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED AND SHALL COMPLY WITH THE PLUMBING FIXTURE AND FITTINGS SCHEDULE ON THIS SHEET. CALGREEN 4.303.3.1
- AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING: 1 - CONTROLLERS SHALL BE WEATHER- OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANT WATERING NEEDS AS WEATHER OR SOIL CONDITIONS 2 - WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT
- ACCOUNT FOR RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). CALGREEN 4.304.1 ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES
- AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS. CALGREEN 4.406.1. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50% OF THE NONHAZARDOUS CONSTRUCTION AND
- DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4; OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE. CALGREEN 4.408.1 6. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING
- CONSTRUCTION PER CALGREEN 4.504.1. 7. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS PER
- 8. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS PER CALGREEN 4.504.2.2. 9. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND
- OTHER TOXIC COMPOUNDS PER CALGREEN 4.504.2.3. 10. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN
- USED PER CALGREEN 4.504.2.4. 11. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS PER CALGREEN 4.504.3.
- 12. EIGHTY (80) PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERINGINSTITUTE (RFCI) FLOORSCORE PROGRAM PER
- 13. PARTICLEBOARD, MEDIUM FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR OR EXTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS PER CALGREEN 4.504.5.
- 14. VAPOR RETARDER AND CAPILLARY BREAK OF 4" THICK BASE OF ½" OR LARGER CLEAN AGGREGATE SHALL BE
- INSTALLED AT SLAB ON GRADE FOUNDATIONS PER CALGREEN 4.505.2. 15. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL BE CHECKED BEFORE
- 16. BATHROOM EXHAUST FANS SHALL BE DUCTED TO TERMINATE OUTSIDE AND BE PROVIDED IN EVERY BATHROOM PER CALGREEN 4.506.1.
- 17. WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR LOUVERS SHALL HAVE A MINIMUM INSULATION VALUE OF R-4.2 PER CALGREEN 4.507.1.
- 18. PER CALGREEN 4.507.2 DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED USING THE 1. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ACCA (MANUAL J) OR EQUIVALENT.
- 2. SIZE DUCT SYSTEMS ACCORDING TO ACCA 26-D (MANUAL D) OR EQUIVALENT. 3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ACCA 36-S (MANUAL S) OR EQUIVALENT.
- 19. OPERATION + MAINTENANCE MANUAL TO BE SUPPLIED AT FINAL INSPECTION.
- 20. MANAGE STORMWATER PER CALGREEN CODE REQUIREMENTS. 4106.2

Parking Analysis

COMMERCIAL / RETAIL: 3,346 SF @ 1SP/400 SF RESIDENTIAL: 8 X 1-BEDROOM UNITS @ 1 SPACE / UNIT HOTEL ROOMS: 1 SPACE / ROOM X 16 ROOMS + 1 SP / EMPLOYEE / SHIFT	= 8.37 SPACES= 8.00 SPACES= 18.00 SPACES
SUB-TOTAL PARKING REQUIRED:	= 34.37 SPACES
PARKING REDUCTION: 66% OF REQUIRED COMMERCIAL SPACES MAY BE USED RESIDENTIAL USES, AS FOLLOWS:	FOR
26 COMMERICAL SPACES X 66% REDUCTION = 17.33 SPACE REDUCTION	n available
ACTUAL MAXIMUM REDUCTION ALLOWED	=< 8.00> SPACES

TOTAL PARKING REQUIRED: = 26.37 SPACES REQUIRED

ARKING PROVIDED	
STANDARD SPACES	= 8 SPACES
CARPORT SPACES	= 12 SPACES
ADA ACCESSIBLE SPACE (9'x18' + 8' VAN OFFLOAD AREA)	= 1 SPACE
ADDITIONAL 2 SPACES FOR PROVIDING 10 BICYCLE SPACES	= 2 SPACES *
TOTAL PARKING PROVIDED:	= 23 SPACES PROVIDED **
A PURPLY AND TARLE UE OF CUR OF THE OFF MOUNTAINS ELEMENT	

PURSUANT TO TABLE H5-6 SUB 3. OF THE CITY'S HOUSING ELEMENT * ADDITIONAL PARKING REDUCTION PURSUANT TO CALIFORNIA GOVERNMENT CODE SECTIONS 65915 - 65918

Occupancy Loading Calculation

OCCUPANT LOADING SHALL BE BASED ON TABLE 1004.1.2. OF THE CBC.					
COMMERCIAL / RETAIL	M	3,346 SQ. FT	60 SF / OCCUPANT	56 OCCUPANTS	
RESIDENTIAL	R-3	4,488 SQ. FT	200 SF / OCCUPANT	23 OCCUPANTS	
HOTEL	R-3	11,252 SQ. FT	200 SF / OCCUPANT	57 OCCUPANTS	
		TOTA	AL OCCUPANT LOAD	136 OCCUPANTS	

Project Data

PROJECT DESCRIPTION:	FL0 16-I	OR COMMERCIAL LEASE SPAC ROOM BOUTIQUE HOTEL, AND	USE PROJECT CONSISTING OF GROUN DE INCLUDING A WINE TASTING ROOM, (8) ONE-BEDROOM RESIDENTIAL UNIT F-RATE AND AFFORDABLE RATE UNITS
APPLICANT:		IIN JAMES 3 VINEYARD DRIVE, PASO ROE	BLES, CA 93446
SITE / ZONING INFORMATION:			
JURISDICTION:	CITY	OF PASO ROBLES	
STREET ADDRESS:		5 SPRING STREET, PASO ROBI	LES CALIFORNIA 93446
A.P.N:		-283-012	ees, orten orthoroot to
ZONING:		F FLEX ZONE	
DENSITY:		2 UNITS / ACRE	
LOT SIZE:	21,0	000 S.F.	
SETBACKS:	REQUIR	ED PROPOSED	
PRIMARY STREET	15'	15'	
SIDE STREET	12'	12'	
SIDE YARD	8'	8'	
REAR YARD	10'	10'	
PROPOSED BUILDING AREA:	NAME	UNIT TYPE	SIZE / AREA
COMMERCIAL / RETAIL	C1	LEASE SPACE	2,011 SF
COMMERCIAL / RETAIL	C2	LEASE SPACE	1,335 SF
HOTEL	H1-H16	HOTEL ROOMS	11,252 SF
RESIDENTIAL	R1	1-BEDROOM	558 SF
RESIDENTIAL	R2	1-BEDROOM	558 SF
RESIDENTIAL	R3	1-BEDROOM	558 SF
RESIDENTIAL	R4	1-BEDROOM	555 SF
RESIDENTIAL	R5	1-BEDROOM	554 SF
RESIDENTIAL	R6	1-BEDROOM	553 SF
RESIDENTIAL	R7	1-BEDROOM	576 SF
RESIDENTIAL	R8	1-BEDROOM	576 SF
CARPORT PARKING		CARPORT PARKING	2,925 SF

RES STORAGE / HOUSEKEEPING

2,034 SF

24,836 SF

2ND & 3RD FLR WALKWAYS

COVERAGE: PROPOSED LOT COVERAGE: 10,921 SQ. FT. (49%) FLOOR-AREA-RATIO (FAR): 0.49 MINIMUM SITE LANDSCAPING: **BUILDING INFORMATION:** NUMBER OF STORIES: OCCUPANCY GROUP: COMMERCIAL / RETAIL / RESIDENTIAL COMMERCIAL / RESIDENTIAL = TYPE V-B CONSTRUCTION TYPE: SPRINKLERED: 36' ALLOWED (N.I.C. ARCH TOWER / MECHANICAL APPURTANCENS) HEIGHT:

35'-6" PROPOSED (39' TO MECH SCREEN; 46'-2" TO ELEV TOWER) BUILDING AREAS: SEE TABLE ABOVE

UTILITY INFORMATION: PACIFIC GAS & ELECTRIC ELECTRICITY: NATURAL GAS: THE GAS COMPANY WATER: CITY OF PASO ROBLES CITY OF PASO ROBLES SEWER:

Project Directory

TELEPHONE:

PLANNING ENTITLEMENTS

STORAGE / HOUSEKEEPING S1-S8

TOTAL PROJECT BUILDING AREA:

CIRCULATION

i i Ojoc	or Directory		
OWNER	TOBIN JAMES 5033 VINEYARD DRIVE PASO ROBLES, CA 93446 PH: 805.674.0791 CONTACT: TOBIN JAMES	MECHANICAL	TBD
ARCHITECT	GARCIA ARCHITECTURE + DESIGN 1308 MONTEREY STREET, SUITE 230 SAN LUIS OBISPO, CA 93401 PH: 805.783.1880 CONTACT: GEORGE F. GARCIA, AIA	PLUMBING	TBD
STRUCTURAL	TBD	ELECTRICAL	TBD
CIVIL	TBD	LANDSCAPE	TBD
FIRE	TBD	SOILS	TBD

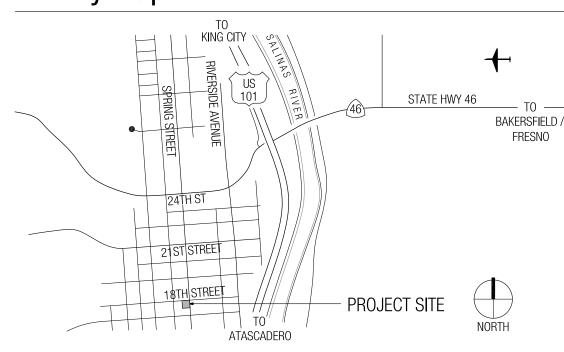
CUP REQUIRED FOR WINE-TASTING ROOM

- ON THE 2018 IBC, 2018 UMC & 2018 UPC & THE 2019 EDITION OF THE CALIFORNIA ELECTRICAL CODE BASED ON THE 2018 NEC, THE 2019 CALIFORNIA ENERGY CODE (AS AMENDED BY THE STATE OF CALIFORNIA AND THE LOCAL JURISDICTION) AND THE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2. ANY/ALL DEFERRED SUBMITTALS SHALL BE REVIEWED BY THE PROJECT ENGINEER PRIOR TO SUBMISSION TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL.
- 3. ALL WORK LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY OR WITHIN THE JURISDICTION OF THE UTILITIES AND PUBLIC WORKS DEPARTMENTS SHALL COMPLY WITH THE MOST CURRENT EDITION OF THE ENGINEERING
- STANDARDS AND STANDARD SPECIFICATION. THE CURRENT ADOPTED STANDARDS ARE DATED JANUARY 2010 4. A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY OR WITHIN CITY EASEMENTS FOR CONNECTIONS TO PUBLIC UTILITIES. WORK REQUIRING AN ENCROACHMENT PERMIT INCLUDES BUT IS NOT LIMITED TO DEMOLITIONS, UTILITIES, WATER, SEWER, AND FIRE SERVICE LATERALS, CURE GUTTER, AND SIDEWALK, DRIVEWAY APPROACHES, SIDEWALK UNDERDRAINS, STORM DRAIN IMPROVEMENTS, STREET TREE PLANTING OR PRUNING, CURB RAMPS, STREET PAVING, AND PEDESTRIAN PROTECTION OR CONSTRUCTION STAGING IN THE RIGHT-OF-WAY.
- 5. THE PUBLIC IMPROVEMENTS SHALL BE SUBSTANTIALLY COMPLETE TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR PRIOR TO FINAL INSPECTION APPROVALS AND/OR OCCUPANCY OF ANY BUILDING.
- 6. ANY SECTIONS OF DAMAGED OR DISPLACED CURB, GUTTER AND SIDEWALK OR DRIVEWAY APPROACH SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR.
- 7. CONTACT THE PUBLIC WORKS INSPECTION HOTLINE WITH AT LEAST A 48 HOUR NOTICE FOR ANY REQUIRED ENCROACHMENT PERMIT INSPECTION OR FINAL INSPECTION.
- 8. A TRAFFIC AND PEDESTRIAN CONTROL PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO ENCROACHMENT PERMIT ISSUANCE.
- 9. THE ADJOINING STREET SHALL BE CLEANED BY SWEEPING TO REMOVE DIRT, DUST, MUD AND CONSTRUCTION
- 10. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED DURING ALL CONSTRUCTION AND GROUND DISTURBING ACTIVITIES PER THE CITY OF PISMO BEACH
- 11. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN PERMANENT IMPROVEMENTS, PLANTINGS AND FACILITIES ARE IN PLACE. TEMPORARY MEASURES SHALL BE REMOVED PRIOR TO FINAL
- INSPECTION APPROVALS. 12. THE EXISTING SEWER LATERAL SHALL BE TELEVISED AND APPROVED FOR REUSE OR SHALL BE
- REPAIRED/REPLACED. THE INSPECTION SHALL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION FOR REVIEW AND APPROVAL BY THE UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONVEY CONCENTRATED DRAINAGE SHALL BE PREPARED AND MAINTAINED TO CONTROL EROSION BY EFFECTIVE
- PLANTING TO BE COMPLETED NO LATER THAN 30 DAYS PRIOR TO A REQUEST FOR FINAL INSPECTION APPROVAL 14. PRIOR TO ANY DEMOLITION OR GRADING THE CONTRACTOR SHALL PROTECT ANY TREES ADJACENT TO TH
- 15. THE MANDATORY PROVISIONS OF CALGREEN CHAPTER 4 SHALL BE APPLIED TO ADDITIONS OR ALTERATIONS OF EXISTING RESIDENTIAL BUILDINGS WHERE THE ADDITION OR ALTERATION INCREASES THE BUILDING'S CONDITIONED AREA, VOLUME, OR SIZE. THE REQUIREMENTS SHALL APPLY ONLY TO AND/OR WITHIN THE
- SPECIFIC AREA OF THE ADDITION OR ALTERATION. CALGREEN 301.1.1 16. OWNER SHALL PROVIDE VERIFICATION OF PROPERTY CORNERS TO THE SATISFACTION OF THE BUILDING
- INSPECTOR AT THE TIME OF FOUNDATION INSPECTION. 17. A LICENSED SURVEYOR OR ENGINEER SHALL VERIFY PAD ELEVATIONS, FINISH FLOOR ELEVATION, AND SETBACKS
- PRIOR TO FOUNDATION INSPECTION, AND ROOF ELEVATIONS, PRIOR TO ROOF SHEETING INSPECTION. SUBMIT DOCUMENTATION AND OBTAIN APPROVAL PRIOR TO SUBMITTING REQUEST FOR INSPECTION. 18. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH ALL PARTIES INVOLVED AT THE PROJECT SITE TO REVIEW THE SPECIAL INSPECTION REQUIREMENTS, PROCEDURES, AND INDIVIDUAL SPECIAL INSPECTORS THAT WILL BE ASSIGNED TO THE PROJECT, AS WELL AS

REQUIREMENTS FOR STRUCTURAL OBSERVATION. CONTRACTOR SHALL CONTACT THE CITY OF PISMO BEACH

BUILDING DIVISION TO CONFIRM AN ACCEPTABLE MEETING DATE AND TIME. 19. AT THE CONCLUSION OF THE WORK INCLUDED IN THE PERMIT, THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A STATEMENT THAT THE SITE VISITS HAVE BEEN MADE + IDENTIFY ANY REPORTED DEFICIENCIES THAT, TO THE BEST OF THE STRUCTURAL OBSERVER'S KNOWLEDGE, HAVE NOT BEEN RESOLVED.

Vicinity Map



Drawing Log

DESCRIPTION	ISSUE DATE	REVISION
100% CONCEPTUAL / CLIENT REVIEW SET	22.0418	
1ST PLANNING ENTITLEMENT SUBMITTAL	22.0504	
OWNER PLAN REVISIONS / REVIEW SET	22.0906	
OWNER PLAN REVISIONS / REVIEW SET	22.0923	
OWNER DESIGN REVISIONS / REVIEW SET	22.1103	OPTION B.4
2ND PLANNING ENTITLEMENT SUBMITTAL SET	22.1118	
3RD PLANNING ENTITLEMENT SUBMITTAL SET	23.0407	
4TH PLANNING ENTITLEMENT SUBMITTAL SET	23.0811	
5TH PLANNING ENTITLEMENT SUBMITTAL SET / ENGINEERING REVISIONS	23.0908	

Sheet Index

TITLE	DESCRIPTION
T1.1	TITLE SHEET / SHEET INDEX / PROJECT DATA / GENERAL NOTES
AS1.1	SITE PLAN / UTILITY PLAN
L1.1	LANDSCAPE PLAN
C1.1	PRELIMINARY GRADING & DRAINAGE PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	THIRD FLOOR PLAN
A1.4	ROOF PLAN
A1.5	BUILDING SECTION
A2.1	EXTERIOR RENDERINGS
A2.2	EXTERIOR RENDERINGS
A2.3	EXTERIOR RENDERINGS
A2.4	EXTERIOR RENDERINGS
A3.1	ELEVATIONS
A3.2	ELEVATIONS
A4.1	AERIAL RENDERING

Affordable Housing Density Analysis

ALLOWED DENSITY PER T-3F ZONING EXISTING PARCEL SIZE	6-12 UNITS / ACRE 21,000 SF / 0.4821 A
BASED DENSITY UNITS ALLOWED: 12 UNITS X 0.4821 AC = 5.78 UNITS (ROUNDS TO)	6 DENSITY UNITS (DU'S
FFORDABLE HOUSING DENSITY BONUS CALCULATION	
BASED DENSITY ALLOWED PER T-3F ZONING	6 DENSITY UNITS
PROPOSED AFFORDABLE UNITS	1 DENSITY UNIT
% OF AFFORDABILITY: 1 DU / 6 DU = 16.67% AFFORDABLE (ROUNDS TO)	17% AFFORDABILITY
APPLY 50% DENSITY BONUS FOR (MIN) 15% AFFORDABILITY @ VERY LOW LEVEL	3 ADDITIONAL DU'S *
TOTAL ALLOWED DENSITY: 6 BASE DU'S + 3 DENSITY BONUS DU'S	9 DENSITY UNITS

TOTAL PRODUCT DELICATE DELICATE PROTUCT OF ALCOHOLY	
BASED DENSITY ALLOWED PER T-3F ZONING PROPOSED AFFORDABLE UNITS % OF AFFORDABILITY: 1 DU / 6 DU = 16.67% AFFORDABLE (ROUNDS TO) APPLY 50% DENSITY BONUS FOR (MIN) 15% AFFORDABILITY @ VERY LOW LEVEL	6 DENSITY UNITS 1 DENSITY UNIT 17% AFFORDABILITY 3 ADDITIONAL DU'S *
TOTAL ALLOWED DENSITY: 6 BASE DU'S + 3 DENSITY BONUS DU'S DEVELOPER INCENTIVES / CONCESSIONS	9 DENSITY UNITS
ALLOWED DEVELOPER INCENTIVES FOR (MIN) 15% AFFORDABILITY @ VERY LOW PROPOSED PROJECT INCENTIVES / EXCEPTIONS:	3 INCENTIVES (1) HEIGHT EXCEPTION (2) PARKING REDUCTION (3) T.B.D.

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George Garcia, AIA C-24540

garcia architecture + design

1308 monterey street, # 230 san luis obispo california 93401



consultant:

Tobin James Mixed Use 1745 Spring Street Paso Robles, CA

applicant / owner:

Tobin James 5033 Vineyard Drive Paso Robles, CA

sheet title:

Title Sheet **Project Data General Notes**

revision:

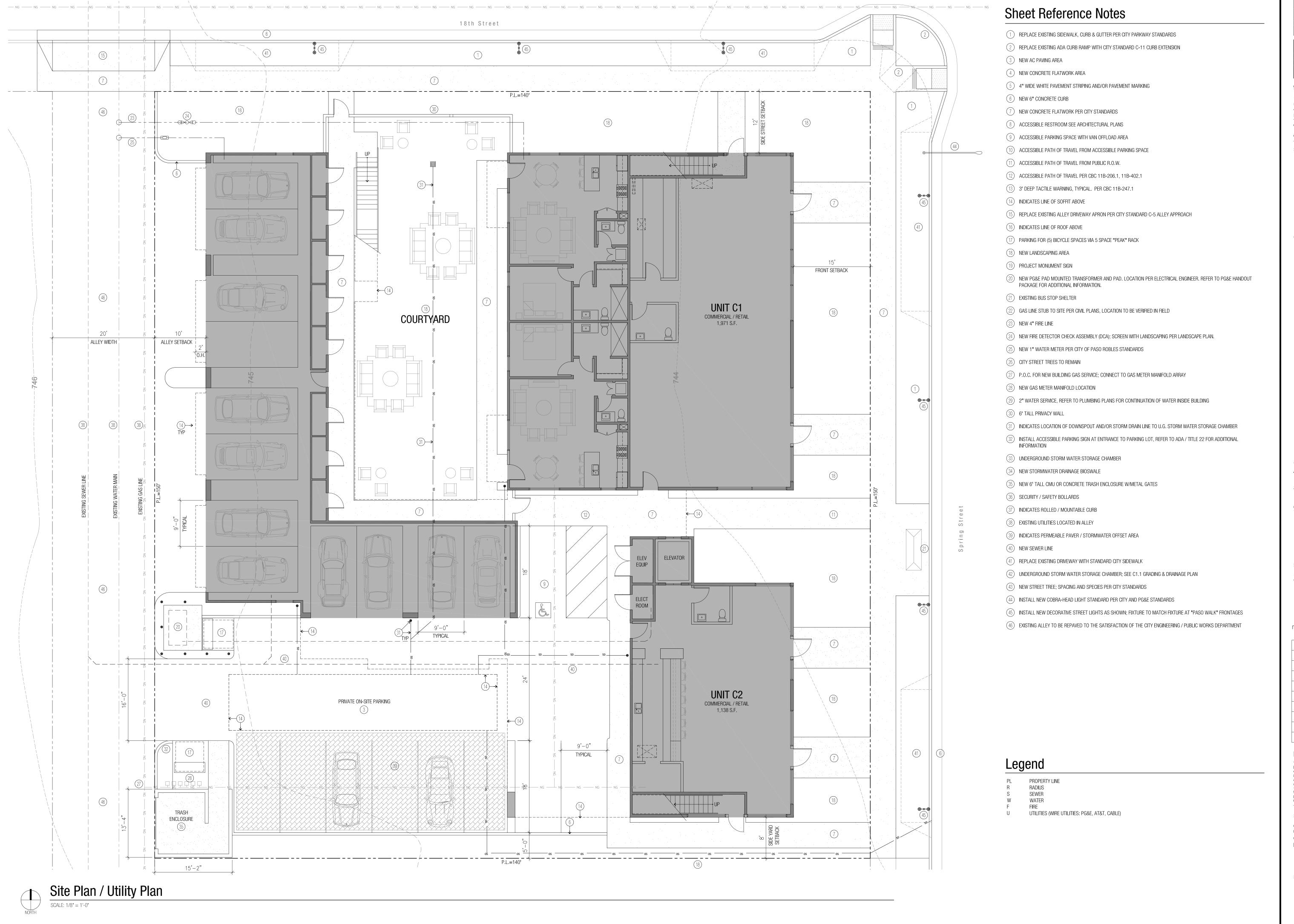
rev	description	issue date	by
	4TH PLANNING ENTITLEMENT SUBMITTAL SET	23.0811	
	5TH PLANNING ENTITLEMENT SUBMITTAL SET	23.0908	

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drawn by: plot date:



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consultant:

:--4.

Tobin James Mixed Use 1745 Spring Street Paso Robles, CA 93446

applicant / owner:

Tobin James 5033 Vineyard Drive Paso Robles, CA 93446

sheet title:

Site Plan Utility Plan

revision:

 accompain	10000 0010 0)
4TH PLANNING ENTITLEMENT SUBMITTAL SET	23.0811
5TH PLANNING ENTITLEMENT SUBMITTAL SET	23.0908

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sheet data:
qa+d job no: 202

ga+d job no: 20220747 CAD file: drawn by: plot date:

sheet:

AS1.1



Preliminary Plant List

WUCOLS BOTANICAL NAME / COMMON NAME

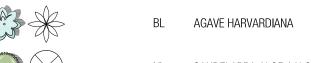


VL OLEA EUROPEA WILSONII / MULTI-TRUNK FRUITLESS OLIVE TREE



L OLEA EUROPEA WILSONII / FRUITLESS OLIVE MULTI-TRUNK

LARGE SHRUBS (5 - 15 GAL) WUCOLS BOTANICAL NAME / COMMON NAME



VL CANDELABRA ALOE / ALOE ARBORESCENS

L PITOSPORUM TENUFOLIUM / PITOSPORUM SILVER SHEEN VL ANIGOZANTHOS ORANGE CROSS / ORANGE KANGAROO PAW

SHRUBS (1 - 5 GAL) WUCOLS BOTANICAL NAME / COMMON NAME \bigcirc L OLEA EUROPEA MONTRA / OLIVE BUSH L AGAVE SHAWII X ATTENUATA / AGAVE BLUE FLAME * L ALOE STRATIATA / CORAL ALOE L ROSEMARINUS OFFICIANALIS TUSCAN BLUE / ROSEMARY **O** • L CRASSIFOLIUM COMPACTUM NANA COMPACTA / PITOSPORUM

GROUNDCOVER (1 GAL) WUCOLS BOTANICAL NAME / COMMON NAME

	A B C D	L L L	ROSEMARY OFFICIALALIS "PROSTRATUS" / ROSEMARY ECHEVERIA "IMBICATA" / HENS & CHICKENS ARCTPSTA PHYLOS ITOOKERI / MONTEREY CARPET MANZANITA SENECIO TALINOIDES VAR. MARDRALISCAE / CHALKSTICKS
)	Е	L	SENECIO TALINOIDES VAR. MARDRALISCAE / CHALKSTICKS

BIO / INFILTRATION GARDEN WUCOLS BOTANICAL NAME / COMMON NAME

* 1	L	SENECIO TALINOIDES VAR. MARDRALISCAE / CHALKSTICKS
* 2	L	SENECIO TALINOIDES VAR. MARDRALISCAE / CHALKSTICKS

Sheet Reference Notes

- 1) OUTLINE OF BUILDING OR ROOF ABOVE
- 2 NEW AC PAVING OR CONCRETE FLATWORK AREA
- 3 NEW PERVIOUS PAVERS
- 4) NEW STREET TREE; SPACING AND SPECIES PER CITY STANDARDS
- 5 NEW TRASH ENCLOSURE

General Notes

- 1. PLANT FACTORS ARE BASED ON WUCOLS LATEST EDITION, ADJUSTED FOR LOCAL CLIMATE AND SOIL TYPE. 2. ALL AREAS WITHOUT PLANTED GROUNDCOVER SHALL RECEIVE 2" MIN. OF CRUSHED GRAVEL OR D.G.
- 3. IRRIGATION SYSTEM CONTROLLERS SHALL BE WEATHER BASED.
- 4. SPRAY HEADS SHALL BE ADJUSTED TO ELIMINATE ANY OVER-SPRAY AND RUNOFF FROM ADJACENT IMPERVIOUS SURFACES.

Legend

GALLON (CONTAINER SIZE)

WUCOLS WATER USE CLASSIFICATION OF LANDSCAPE SPECIES

LOW WATER USAGE PER WUCOLS VERY LOW WATER USAGE PER WUCOLS

NCN NO COMMON NAME



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consultant:

Tobin James Mixed Use 1745 Spring Street Paso Robles, CA 93446

applicant / owner:

Tobin James 5033 Vineyard Drive Paso Robles, CA 93446

sheet title: Landscape Plan

revision:

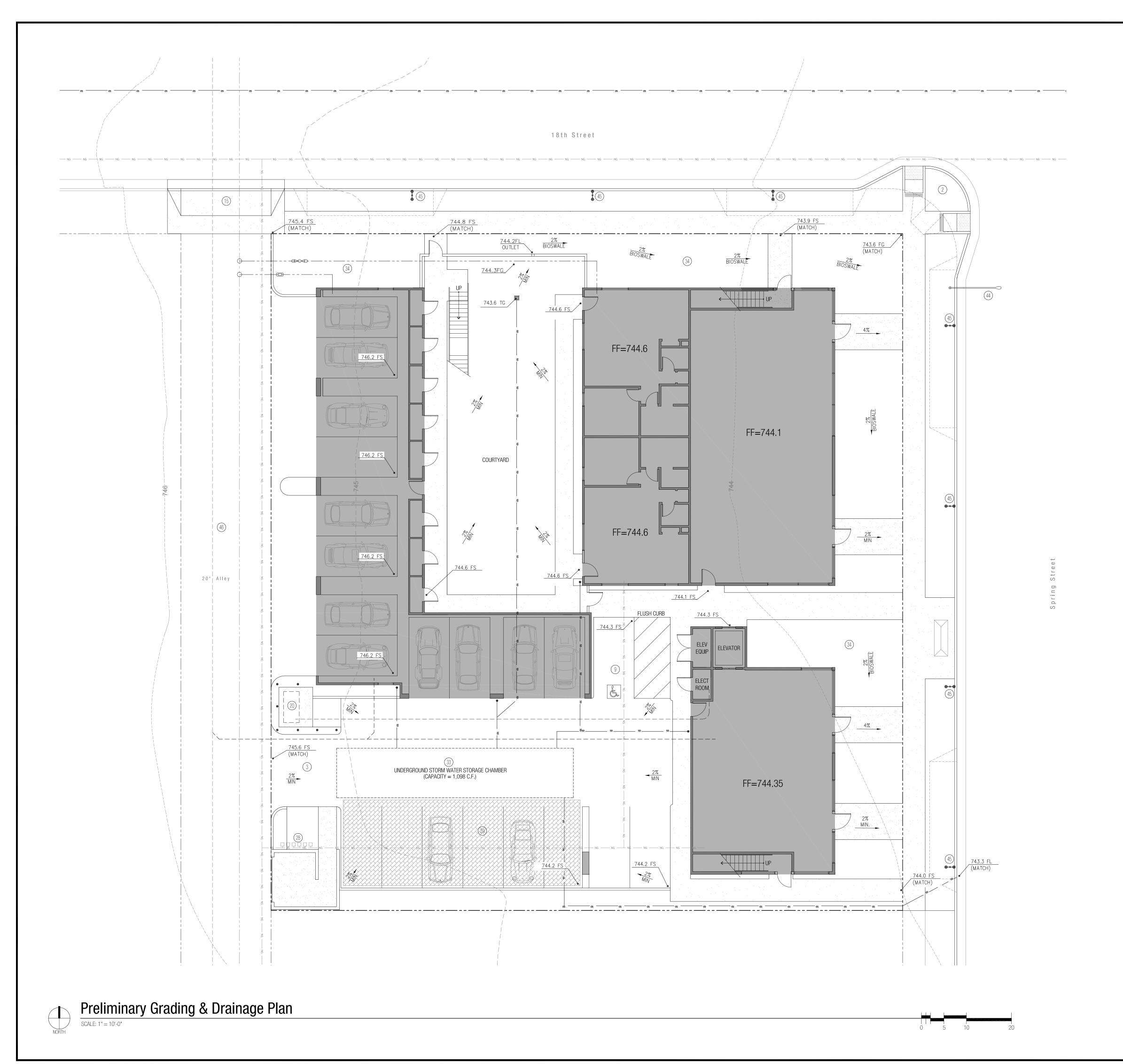
rev	description	issue date	by by
	4TH PLANNING ENTITLEMENT SUBMITTAL SET	23.0811	
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drawn by: plot date:



Sheet Reference Notes

- (1) REPLACE EXISTING SIDEWALK, CURB & GUTTER PER CITY PARKWAY STANDARDS
- (2) REPLACE EXISTING ADA CURB RAMP WITH CITY STANDARD C-11 CURB EXTENSION
- (3) NEW AC PAVING AREA
- (4) NEW CONCRETE FLATWORK AREA
- (5) 4" WIDE WHITE PAVEMENT STRIPING AND/OR PAVEMENT MARKING
- (6) NEW 6" CONCRETE CURB
- 7 NEW CONCRETE FLATWORK PER CITY STANDARDS
- 8 ACCESSIBLE RESTROOM SEE ARCHITECTURAL PLANS
- (9) ACCESSIBLE PARKING SPACE WITH VAN OFFLOAD AREA
- (10) ACCESSIBLE PATH OF TRAVEL FROM ACCESSIBLE PARKING SPACE
- (11) ACCESSIBLE PATH OF TRAVEL FROM PUBLIC R.O.W.
- (12) ACCESSIBLE PATH OF TRAVEL PER CBC 11B-206.1, 11B-402.1
- (13) 3' DEEP TACTILE WARNING, TYPICAL. PER CBC 11B-247.1
- (14) INDICATES LINE OF SOFFIT ABOVE
- 15) REPLACE EXISTING ALLEY DRIVEWAY APRON PER CITY STANDARD C-5 ALLEY APPROACH
- (16) INDICATES LINE OF ROOF ABOVE
- (17) PARKING FOR (5) BICYCLE SPACES VIA 5 SPACE "PEAK" RACK
- (18) NEW LANDSCAPING AREA
- (19) PROJECT MONUMENT SIGN
- NEW PG&E PAD MOUNTED TRANSFORMER AND PAD. LOCATION PER ELECTRICAL ENGINEER. REFER TO PG&E HANDOUT PACKAGE FOR ADDITIONAL INFORMATION.
- (21) EXISTING BUS STOP SHELTER
- (22) GAS LINE STUB TO SITE PER CIVIL PLANS, LOCATION TO BE VERIFIED IN FIELD
- 23 NEW 4" FIRE LINE
- 24 NEW FIRE DETECTOR CHECK ASSEMBLY (DCA); SCREEN WITH LANDSCAPING PER LANDSCAPE PLAN.
- 25) NEW 1" WATER METER PER CITY OF PASO ROBLES STANDARDS
- 26 CITY STREET TREES TO REMAIN
- (27) P.O.C. FOR NEW BUILDING GAS SERVICE; CONNECT TO GAS METER MANIFOLD ARRAY
- 28) NEW GAS METER MANIFOLD LOCATION
- 2" WATER SERVICE, REFER TO PLUMBING PLANS FOR CONTINUATION OF WATER INSIDE BUILDING
- (30) 6' TALL PRIVACY WALL
- (31) INDICATES LOCATION OF DOWNSPOUT AND/OR STORM DRAIN LINE TO U.G. STORM WATER STORAGE CHAMBER
- 32 INSTALL ACCESSIBLE PARKING SIGN AT ENTRANCE TO PARKING LOT, REFER TO ADA / TITLE 22 FOR ADDITIONAL INFORMATION
- (33) UNDERGROUND STORM WATER STORAGE CHAMBER
- (34) NEW STORMWATER DRAINAGE BIOSWALE
- (35) NEW 6' TALL CMU OR CONCRETE TRASH ENCLOSURE W/METAL GATES
- (36) SECURITY / SAFETY BOLLARDS
- (37) INDICATES ROLLED / MOUNTABLE CURB
- 38) EXISTING UTILITIES LOCATED IN ALLEY
- ③ INDICATES PERMEABLE PAVER / STORMWATER OFFSET AREA
- 40 NEW SEWER LINE
- (41) REPLACE EXISTING DRIVEWAY WITH STANDARD CITY SIDEWALK
- (42) UNDERGROUND STORM WATER STORAGE CHAMBER; SEE C1.1 GRADING & DRAINAGE PLAN
- (43) NEW STREET TREE; SPACING AND SPECIES PER CITY STANDARDS
- (44) INSTALL NEW COBRA-HEAD LIGHT STANDARD PER CITY AND PG&E STANDARDS
- (45) INSTALL NEW DECORATIVE STREET LIGHTS AS SHOWN; FIXTURE TO MATCH FIXTURE AT "PASO WALK" FRONTAGES
- (46) EXISTING ALLEY TO BE REPAVED TO THE SATISFACTION OF THE CITY ENGINEERING / PUBLIC WORKS DEPARTMENT

Stormwater Requirements

EXISTING PROJECT SITE AREA: 21,000 S.F. / 0.48 ACRES

WMZ: 4
EXISTING IMPERVIOUS AREA: 0 S.F. / 0 ACRES

NEW ON-SITE PERVIOUS AREA: 10,366 S.F.

EXISTING PERVIOUS AREA: 21,000 S.F. / 0.48 ACRES

NEW OFF-SITE (REPLACEMENT) IMPERVIOUS AREA: 4,270 S.F.

PR1 - SITE DESIGN + RUNOFF REDUCTION

PR2 - WATER QUALITY TREATMENT

LID RETENTION
85TH PERCENTILE: = 0.9"
TOTAL ON+OFF SITE IMPERVIOUS AREA = 14,636 S.F. ... PCR-2 LEVEL REQUIRED

REQD. VOLUME = 14,636 S.F. X 0.9" = 1,098 C.F.

General Site Notes

GRADE SHALL SLOPE A MINIMUM OF 5% FOR A DISTANCE OF 10' AWAY FROM NEW BUILDING FOOTPRINT OR 2% WHEN SURFACE IS IMPERVIOUS.

ANGE OF TO AWAY PROWINEW BUILDING

g





garcia architecture + design

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fx: 805.783.1881

www.garciaarchdesign.com George Garcia, AIA C-24540

al·



consultant:

iect:

Tobin James Mixed Use 1745 Spring Street Paso Robles, CA 93446

applicant / owner:

Tobin James 5033 Vineyard Drive Paso Robles, CA 93446

sheet title:

Prelim Grading & Drainage Plan

revision:

rev	description	issue date by
	4TH PLANNING ENTITLEMENT SUBMITTAL SET	23.0811
	5TH PLANNING ENTITLEMENT SUBMITTAL SET	23.0908

legal stuff:

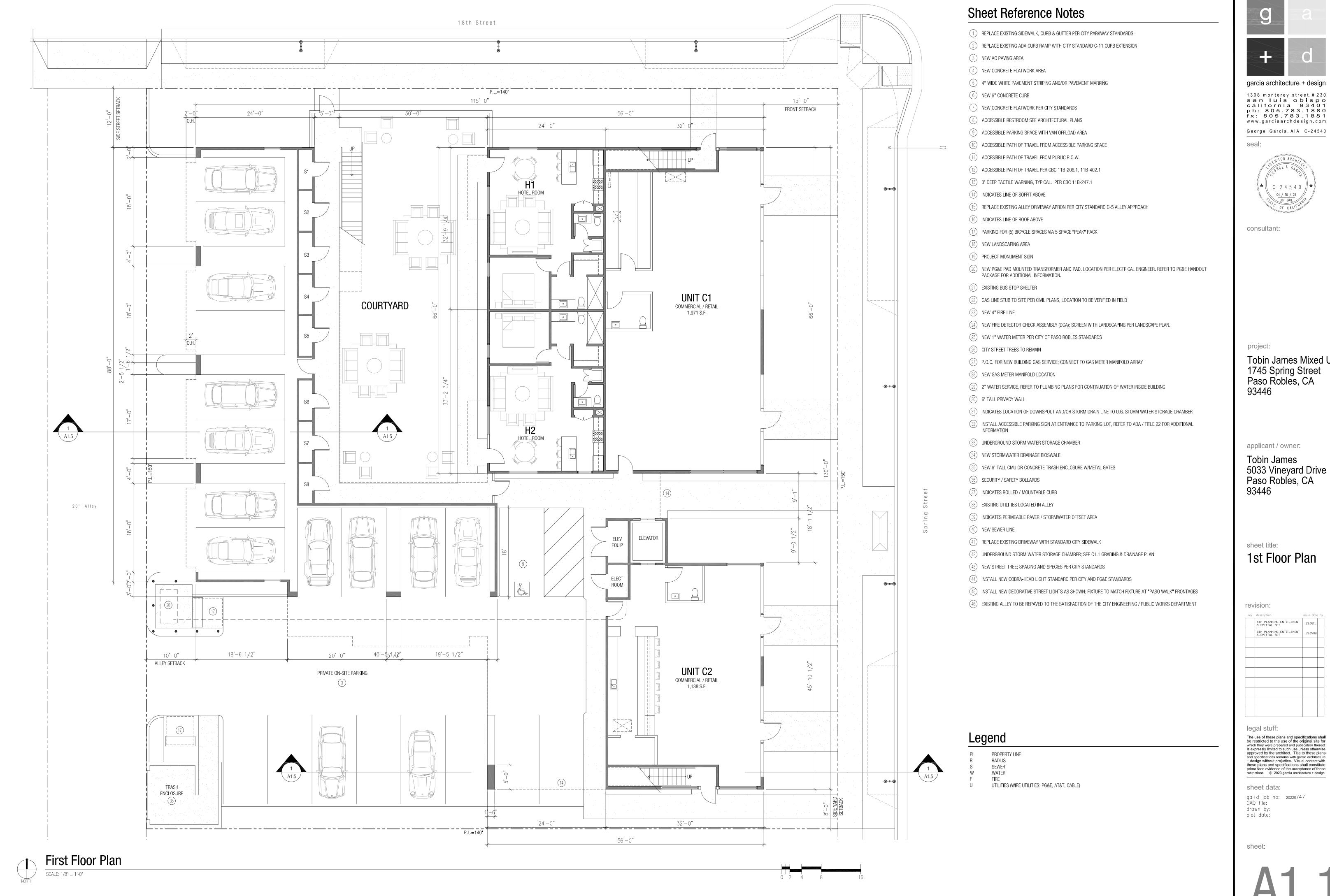
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sheet data:

ga+d job no: 20220747 CAD file: drawn by: plot date:

sheet:

C1.1



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consultant:

Tobin James Mixed Use 1745 Spring Street Paso Robles, CA 93446

applicant / owner:

Tobin James 5033 Vineyard Drive Paso Robles, CA 93446

sheet title:

1st Floor Plan

revision:

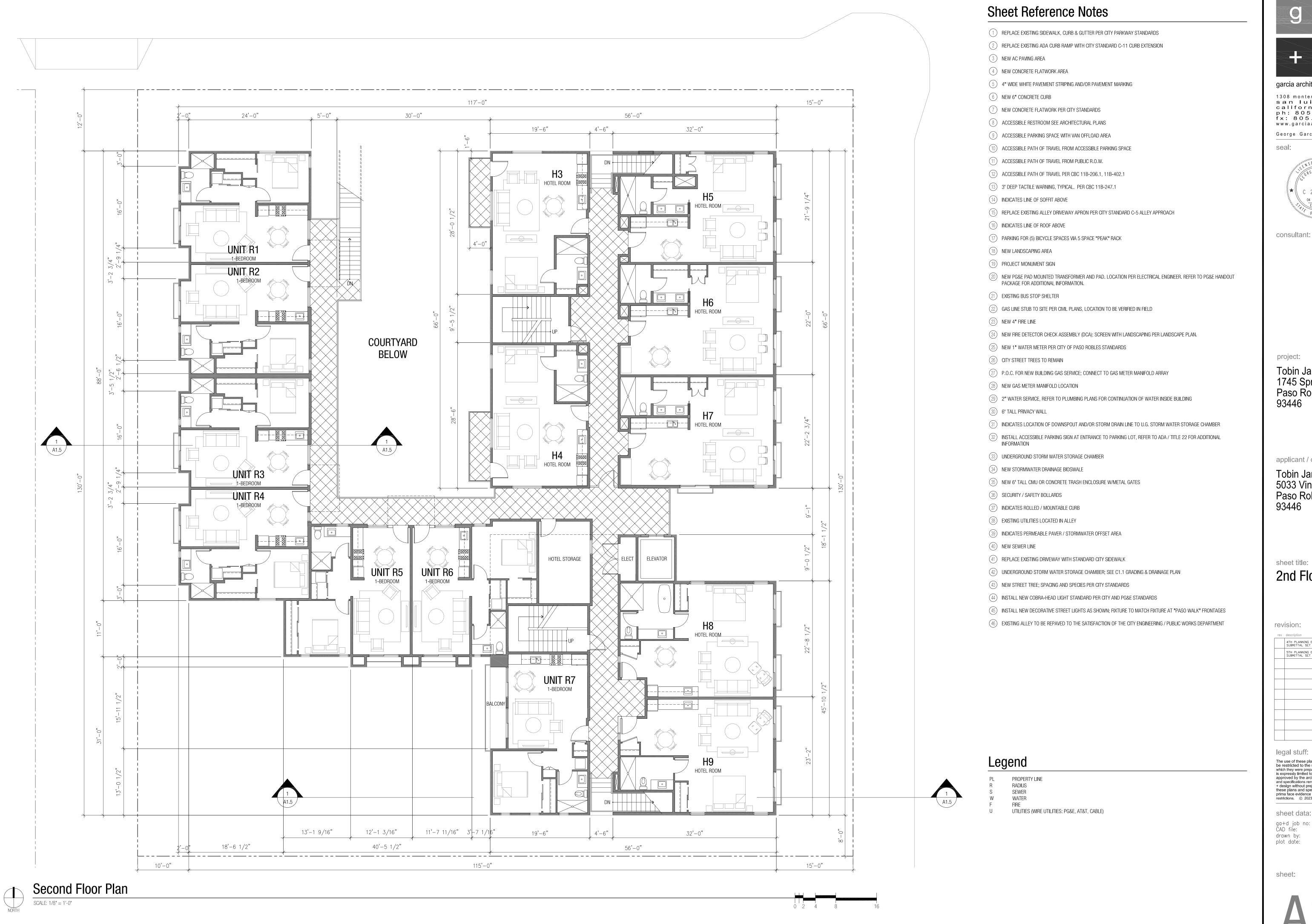
rev	description	issue date	by
	4TH PLANNING ENTITLEMENT SUBMITTAL SET	23.0811	
	5TH PLANNING ENTITLEMENT SUBMITTAL SET	23.0908	
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consultant:

Tobin James Mixed Use 1745 Spring Street Paso Robles, CA 93446

applicant / owner:

Tobin James 5033 Vineyard Drive Paso Robles, CA

2nd Floor Plan

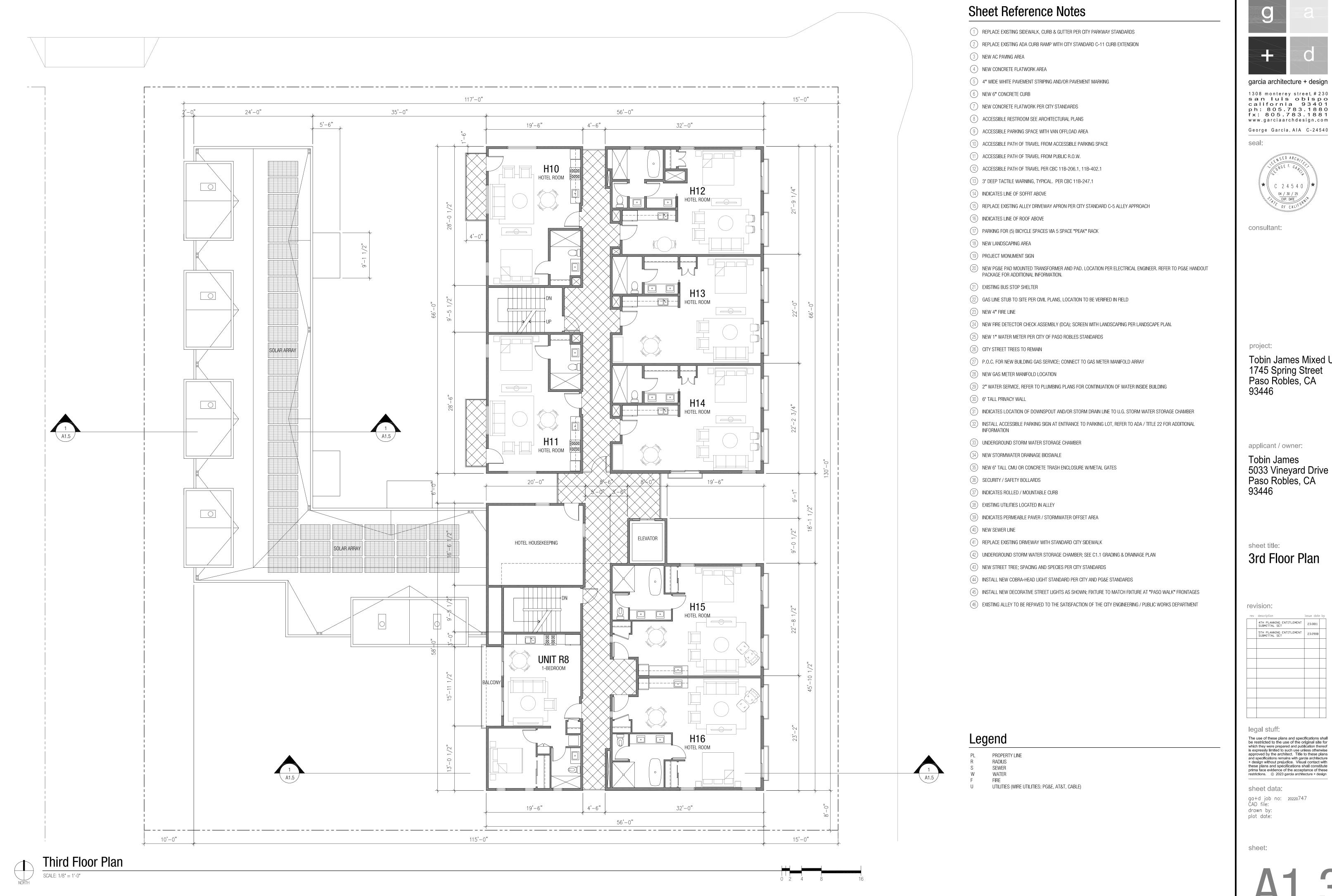
rev	description	issue date	by
	4TH PLANNING ENTITLEMENT SUBMITTAL SET	23.0811	
	5TH PLANNING ENTITLEMENT SUBMITTAL SET	23.0908	

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consultant:

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applicant / owner:

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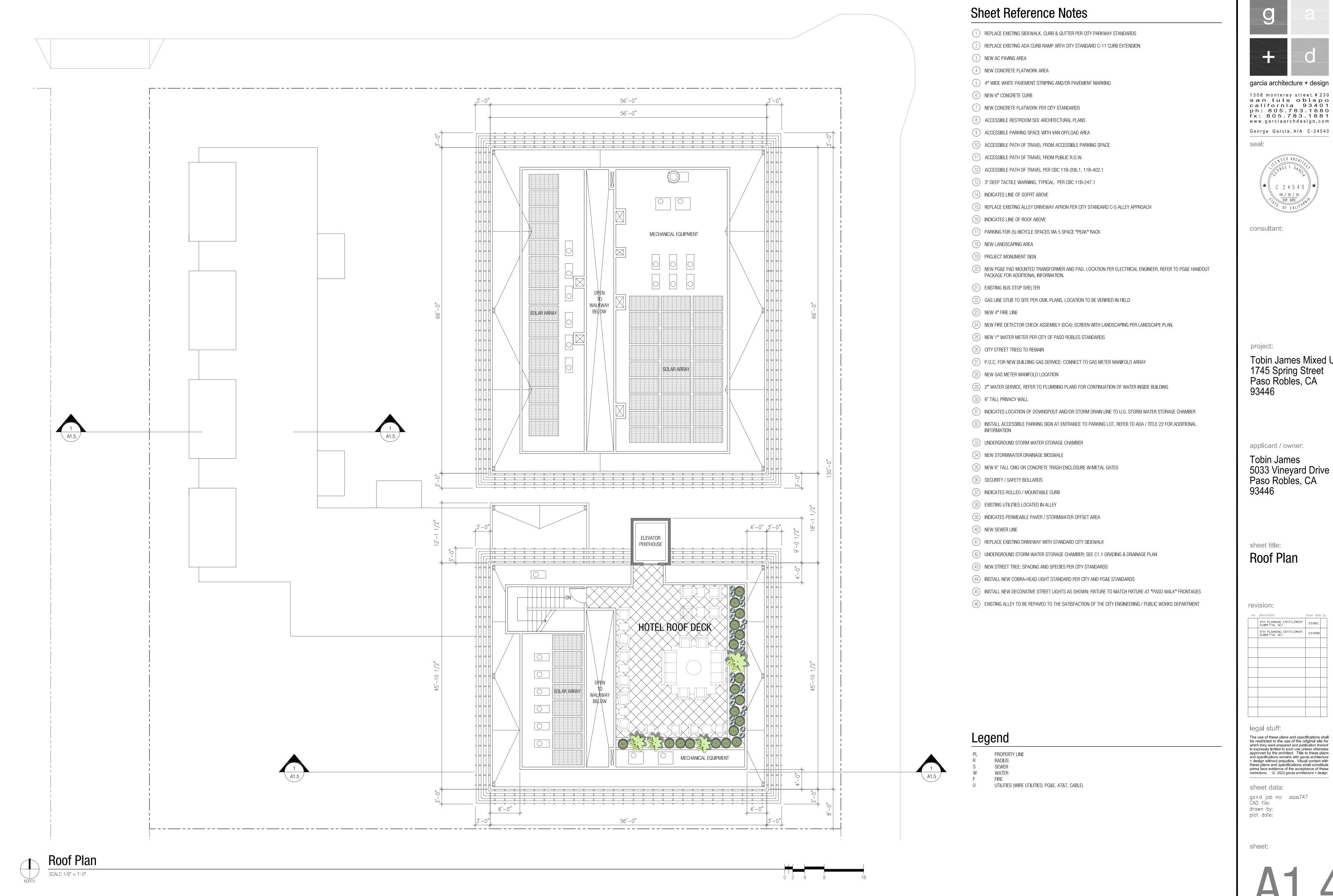
3rd Floor Plan

rev	description	issue date	by
	4TH PLANNING ENTITLEMENT SUBMITTAL SET	23.0811	
	5TH PLANNING ENTITLEMENT SUBMITTAL SET	23.0908	
		1	

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consultant:

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applicant / owner:

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Roof Plan

rev	description	issue date	by
	4TH PLANNING ENTITLEMENT SUBMITTAL SET	23.0811	
	5TH PLANNING ENTITLEMENT SUBMITTAL SET	23.0908	
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sheet data:

ga+d job no: 20220747 drawn by:

+48'-0" ◆ TOP OF ELEVATOR PENTHOUSE ◆ +39'-6" → TOP OF EQUIPMENT SCREEN MECHANICAL EQUIPMENT +36'-6" ◆ TOP OF ROOF CORNICE HOTEL ROOF DECK +35'-0" ◆ TOP OF ROOF FRAMING HOTEL ROOM +28'-6" TOP OF ROOF PARAPET RESIDENTIAL UNIT "R8" (STAIRWELL BEYOND) MECH EQUIP +24'-6" TOP OF ROOF FRAMING +26'-6" 3RD FINISH FLOOR ◆ RESIDENTIAL UNIT "R7" CORRIDOR HOTEL ROOM RESIDENTIAL UNIT "R3" (STAIRWELL BEYOND) +14'-0" 2ND FINISH FLOOR +14'-0" ◆ 2ND FINISH FLOOR +7'-0" CLEARANCE @ CARPORT CARPORT PARKING STAIRWELL RETAIL SPACE SPRING STREET +0'-0" 1ST FINISH FLOOR ◆ East / West Building Section Looking North SCALE: 1/8" = 1'-0"

Sheet Reference Notes

- 1) EXISTING CONCRETE CURB, GUTTER, SIDEWALK AND/OR PARKWAY TO REMAIN
- (2) EXISTING ACCESSIBLE CURB RAMP TO REMAIN
- 3 NEW AC PAVING AREA
- 4 NEW CONCRETE FLATWORK AREA
- 5 4" WIDE WHITE PAVEMENT STRIPING AND/OR PAVEMENT MARKING
- 6 NEW 6" CONCRETE CURB
- 7 NEW 4" THICK CONCRETE FLATWORK
- 8 ACCESSIBLE RESTROOM SEE ARCHITECTURAL PLANS
- (9) ACCESSIBLE PARKING SPACE WITH VAN OFFLOAD AREA
- (10) ACCESSIBLE PATH OF TRAVEL FROM ACCESSIBLE PARKING SPACE
- (11) ACCESSIBLE PATH OF TRAVEL FROM PUBLIC R.O.W.
- 12) ACCESSIBLE PATH OF TRAVEL PER CBC 11B-206.1, 11B-402.1
- (13) 3' DEEP TACTILE WARNING, TYPICAL. PER CBC 11B-247.1
- (14) INDICATES LINE OF SOFFIT ABOVE
- (15) REPLACE EXISTING DRIVEWAY APRON CITY NEW APRON PER CITY STANDARDS
- (16) INDICATES LINE OF ROOF ABOVE
- 17) PARKING FOR (5) BICYCLE SPACES VIA 5 SPACE "PEAK" RACK
- (18) NEW LANDSCAPING AREA
- (19) PROJECT MONUMENT SIGN
- (20) NEW PG&E PAD MOUNTED TRANSFORMER AND PAD. LOCATION PER ELECTRICAL ENGINEER. REFER TO PG&E HANDOUT PACKAGE FOR ADDITIONAL INFORMATION.
- (21) EXISTING BUS STOP SHELTER
- (22) GAS LINE STUB TO SITE PER CIVIL PLANS, LOCATION TO BE VERIFIED IN FIELD
- (23) NEW 4" FIRE LINE
- (24) NEW FIRE DETECTOR CHECK ASSEMBLY (DCA); SCREEN WITH LANDSCAPING PER LANDSCAPE PLAN.
- 25) NEW 1" WATER METER PER CITY OF PASO ROBLES STANDARDS
- (26) CITY STREET TREES TO REMAIN
- 27) P.O.C. FOR NEW BUILDING GAS SERVICE; CONNECT TO GAS METER MANIFOLD ARRAY
- (28) NEW GAS METER MANIFOLD LOCATION
- 29 2" WATER SERVICE, REFER TO PLUMBING PLANS FOR CONTINUATION OF WATER INSIDE BUILDING
- (30) 6' TALL PRIVACY WALL
- (31) INDICATES LOCATION OF DOWNSPOUT AND/OR STORM DRAIN LINE TO U.G. STORM WATER STORAGE CHAMBER
- (32) INSTALL ACCESSIBLE PARKING SIGN AT ENTRANCE TO PARKING LOT, REFER TO ADA / TITLE 22 FOR ADDITIONAL INFORMATION
- (33) UNDERGROUND STORM WATER STORAGE CHAMBER
- (34) NEW STORMWATER DRAINAGE BIOSWALE
- (35) NEW 6' TALL CMU OR CONCRETE TRASH ENCLOSURE W/METAL GATES
- (36) SECURITY / SAFETY BOLLARDS
- (37) INDICATES ROLLED / MOUNTABLE CURB
- (38) EXISTING UTILITIES LOCATED IN ALLEY
- (39) INDICATES PERMEABLE PAVER / STORMWATER OFFSET AREA
- (40) NEW SEWER LINE
- (41) REPLACE EXISTING DRIVEWAY WITH STANDARD CITY SIDEWALK
- (42) UNDERGROUND STORM WATER STORAGE CHAMBER; SEE C1.1 GRADING & DRAINAGE PLAN
- (43) NEW STREET TREE; SPACING AND SPECIES PER CITY STANDARDS







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consultant:

Tobin James Mixed Use 1745 Spring Street Paso Robles, CA

applicant / owner:

5033 Vineyard Drive Paso Robles, CA 93446

sheet title: **Building Section**

revision:

rev	description	issue date	e by
	4TH PLANNING ENTITLEMENT SUBMITTAL SET	23.0811	
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sheet data:

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consultant:

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applicant / owner:

Tobin James 5033 Vineyard Drive Paso Robles, CA 93446

Renderings

rev	description	issue date
	4TH PLANNING ENTITLEMENT SUBMITTAL SET	23.0811
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legal stuff:

Rendering / View from Intersection of Spring Street & 18th Street Looking Southwest







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consultant:

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applicant / owner:

Tobin James 5033 Vineyard Drive Paso Robles, CA 93446

Renderings

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sheet data: ga+d job no: 20220747 CAD file: drawn by: plot date:

Rendering / View from 18th Street Looking Southeast



Rendering / View from Alley Looking Northeast





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consultant:

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applicant / owner:

Tobin James 5033 Vineyard Drive Paso Robles, CA 93446

sheet title:

Renderings

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Rendering / Spring Street Looking Northwest





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consultant:

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applicant / owner:

Tobin James 5033 Vineyard Drive Paso Robles, CA 93446

Renderings

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legal stuff:

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East Elevation / Spring Street

SCALE: 1/8" = 1'-0"



North Elevation / 18th Street

SCALE: 1/8" = 1'-0"

Exterior Color + Materials Reference Notes

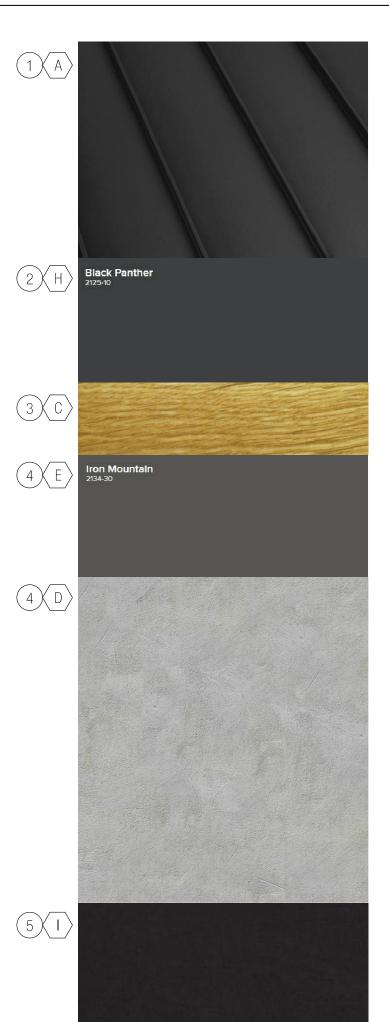
Material Specifications:

- 1) McELROY "MEDALLION-LOK" 12" WIDE STANDING SEAM METAL PANELS
- 2 METAL BALCONY RAILINGS AND DECKING
 3 WHITE OAK COMMERCIAL DOORS AND WINDOW STOREFRONTS
- 4 SMOOTH STEEL-TROWELED VENETIAN PLASTER 5 ALUMINUM CLAD WINDOWS & DOORS
- 6 ARCHITECTURAL / STRUCTURAL STEEL
- ARCHITECTURAL SHEET METAL / DECORATIVE COPING 2X2 VERTICAL WHITE OAK WOOD FENCING
- 9 STEEL CORNICE ELEMENT 10 "NEUTRA STYLE" ADDRESS NUMBERS' 12" TALL

Color Specifications:

- MATTE BLACK
 FACTORY KYNAR 500® (PVDF) FINISH
- SIERRA PACIFIC "WHITE OAK"
 CLEAR-STAINED FINISH
- D NATURAL VENETIAN PLASTER "CEMENT"
 BENJAMIN MOORE 2112-60 CEMENT GRAY; SATIN FINISH
- E BLACK CHARCOAL PAINT BENJAMIN MOORE 2134-30 IRON MOUNTAIN; SATIN FINISH
- CHARCOAL TRIM, DECORATIVE METAL, COPING, METAL ACCENT BENJAMIN MOORE 2125-10 "BLACK PANTHER"; SATIN FINISH
- BLACK DOORS / WINDOWS / METAL TRIM COLOR BENJAMIN MOORE 2120-20 "BLACK IRON"; SATIN FINISH
- BENGAMIN MOONE 2120-20 BEAGN MON , SATIN
- 2X2 VERTICAL WOOD FENCING W/4" GAP BEHR "HARVEST BROWN" STAIN #710D-4

Exterior Color + Materials Samples









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consultant:

roiect:

Tobin James Mixed Use 1745 Spring Street Paso Robles, CA 93446

applicant / owner:

Tobin James 5033 Vineyard Drive Paso Robles, CA 93446

sheet title:

Elevations

revision:

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		4TH PLANNING ENTITLEMENT SUBMITTAL SET	23.08	311
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sheet data:

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sheet:

A3.1



West Elevation / Alley

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



Exterior Color + Materials Reference Notes

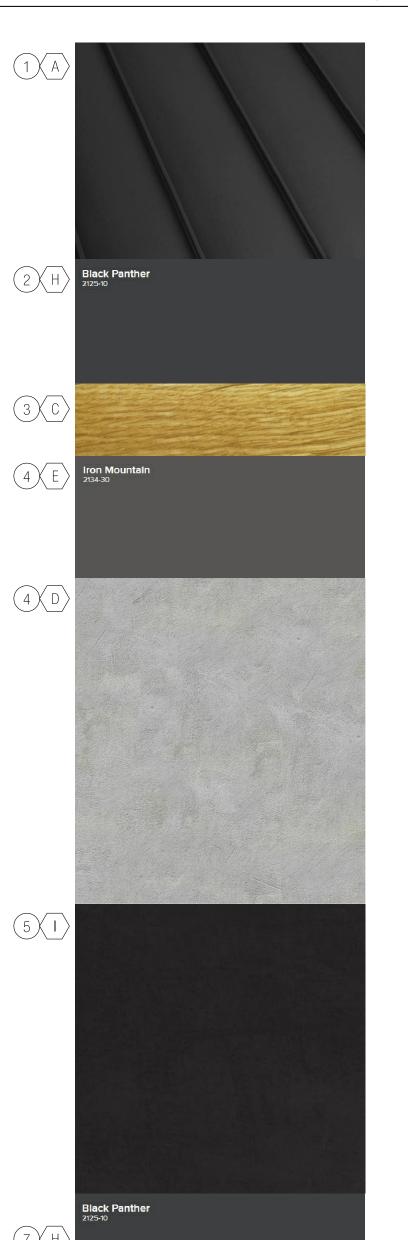
Material Specifications:

- (1) Mcelroy "Medallion-lok" 12" Wide Standing Seam Metal Panels
- METAL BALCONY RAILINGS AND DECKING WHITE OAK COMMERCIAL DOORS AND WINDOW STOREFRONTS
- SMOOTH STEEL-TROWELED VENETIAN PLASTER
- ALUMINUM CLAD WINDOWS & DOORS ARCHITECTURAL / STRUCTURAL STEEL
- ARCHITECTURAL SHEET METAL / DECORATIVE COPING 2X2 VERTICAL WHITE OAK WOOD FENCING
- STEEL CORNICE ELEMENT 10 "NEUTRA STYLE" ADDRESS NUMBERS' 12" TALL

Color Specifications:

- MATTE BLACK
 FACTORY KYNAR 500® (PVDF) FINISH
- SIERRA PACIFIC "WHITE OAK"
 CLEAR-STAINED FINISH
- D NATURAL VENETIAN PLASTER "CEMENT"
 BENJAMIN MOORE 2112-60 CEMENT GRAY; SATIN FINISH
- E BLACK CHARCOAL PAINT BENJAMIN MOORE 2134-30 IRON MOUNTAIN; SATIN FINISH
- CHARCOAL TRIM, DECORATIVE METAL, COPING, METAL ACCENT BENJAMIN MOORE 2125-10 "BLACK PANTHER"; SATIN FINISH
- BLACK DOORS / WINDOWS / METAL TRIM COLOR BENJAMIN MOORE 2120-20 "BLACK IRON"; SATIN FINISH
- 2X2 VERTICAL WOOD FENCING W/4" GAP BEHR "HARVEST BROWN" STAIN #710D-4

Exterior Color + Materials Samples









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George Garcia, AIA C-24540



consultant:

Tobin James Mixed Use 1745 Spring Street Paso Robles, CA 93446

applicant / owner:

Tobin James 5033 Vineyard Drive Paso Robles, CA 93446

sheet title:

Elevations

revision:

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sheet:

drawn by: plot date:



Aerial Rendering





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consultant:

project:

Tobin James Mixed Use 1745 Spring Street Paso Robles, CA 93446

applicant / owner:

Tobin James 5033 Vineyard Drive Paso Robles, CA 93446

sheet title:

Aerial Rendering

revision:

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	4TH PLANNING ENTITLEMENT SUBMITTAL SET	23.081	1
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sheet data:

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