

ARDMORE INDUSTRIAL

ARDMORE ROAD | CITY OF EL PASO DE ROBLES, CA



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PROJECT DIRECTORY

OWNERSHIP:

MD3 INVESTMENTS

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CONTACT: MICHAEL D. STOLTEY
PH: 805-710-7866
SAN LUIS OBISPO, CA 93401

OWNERSHIP:

COVELOP
COLLABORATIVE DEVELOPMENT

COVELOP

CONTACT: DAMIEN MAVIS
PH: 805-781-3133
1135 SANTA ROSA STREET, SUITE 210
SAN LUIS OBISPO, CA 93401

PLANNER:

Kirk Consulting
A California Corporation

KIRK CONSULTING

CONTACT: IAN MCCARVILLE
PH: 805-461-5765
8830 MORRO ROAD,
ATASCADERO, CA 93422

CIVIL ENGINEER:

WALLACE GROUP

WALLACE GROUP

CONTACT: TOM ZEHNDER
PH: 805-544-4011
612 CLARION COURT,
SAN LUIS OBISPO, CA 93401

ARCHITECT:

ARRIS
STUDIO ARCHITECTS

ARRIS STUDIO ARCHITECTS

CONTACT: REBECCA NEWMAN
PH: 805-547-2240
1327 ARCHER STREET, SUITE 220
SAN LUIS OBISPO, CA 93401

SITE STATISTICS

APN:	025-362-043
LOTS:	13 (6.53 ACRES) 6 (6.76 ACRES)
ZONING:	C3-PD

VICINITY MAP



Exhibit C

PROJECT DATA DATA

LOT 13 - BLDG 1

USES:	
OFFICE	9,000 SF
WAREHOUSE	116,812 SF
TOTAL AREA:	125,812 SF

TOTAL PARKING REQUIRED 144 SPACES

TOTAL PARKING PROVIDED 154 SPACES*

*INCLUDES 43 COMPACT SPACES & 8 ADA SPACES

*INCLUDES 10 EVC SPACES PER CGBSC TABLE 5.106.5.3.3

MOTORCYCLE PARKING REQUIRED

1 SPACE PER 20 VEHICLE SPACES REQUIRED: 8 SPACES

TOTAL MOTORCYCLE PARKING PROVIDED: 8 SPACES

PARCEL A & B - BLDG 2, 3, 4, 5 & 6

USES:	
COMMERCIAL/RETAIL	7,392 SF
STORAGE	40,271 SF
MANUFACTURING	25,836 SF
WINEMAKING	41,016 SF
TOTAL AREA:	114,515 SF

TOTAL PARKING REQUIRED 156 SPACES

TOTAL PARKING PROVIDED 156 SPACES**

**INCLUDES 23 COMPACT SPACES AND 8 ADA SPACES

**INCLUDES 10 EVC SPACES PER CGBSCS TABLE 5.106.5.3.3

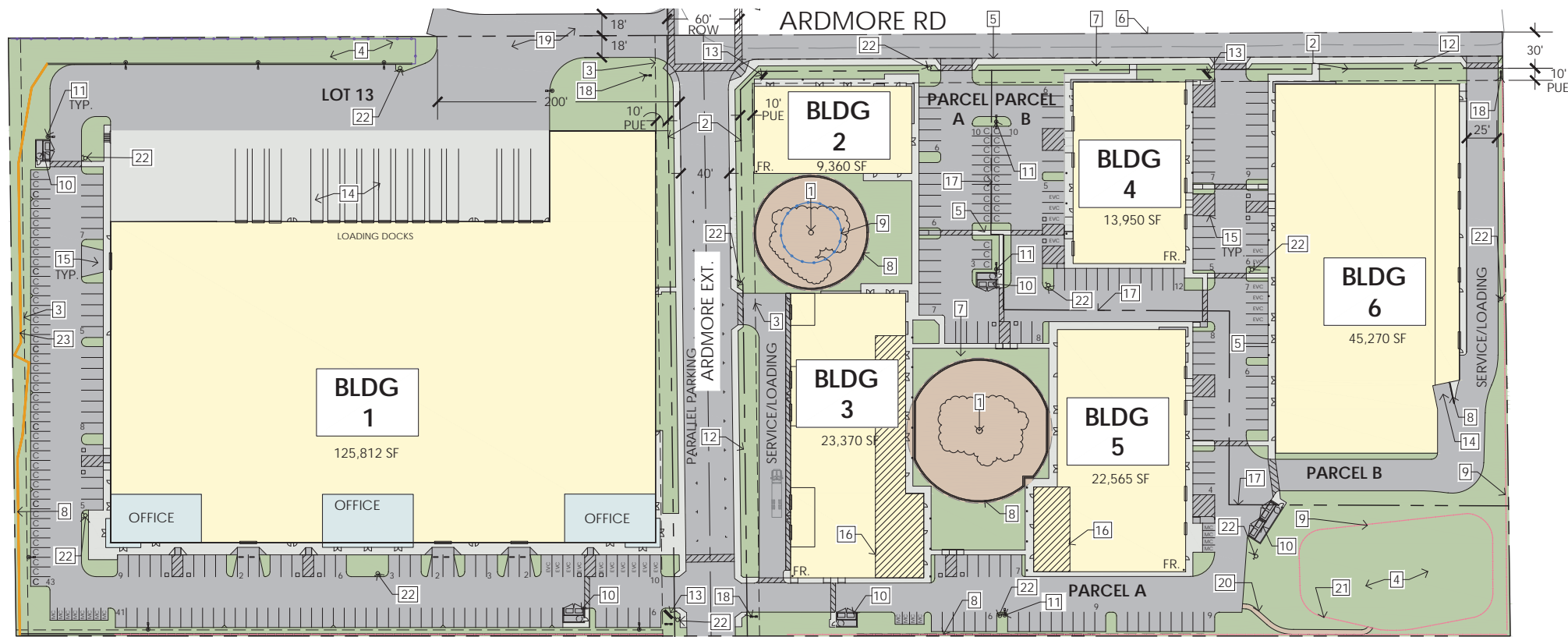
MOTORCYCLE PARKING REQUIRED

1 SPACE PER 20 VEHICLE SPACES REQUIRED: 8 SPACES

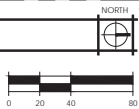
MOTORCYCLE PARKING PROVIDED 8 SPACES

REFERENCE NOTES

- 1: EXISTING OAK TREE TO REMAIN AND BE PROTECTED IN PLACE
- 2: PROPERTY LINE
- 3: SETBACK LINE
- 4: RETENTION BASIN
- 5: SIDEWALK
- 6: CENTERLINE OF ARDMORE ROAD
- 7: LANDSCAPE
- 8: RETAINING WALL/CURB
- 9: FENCING, SEE FENCING LEGEND ON LANDSCAPE PLAN
- 10: TRASH ENCLOSURE
- 11: SITE LIGHTING
- 12: STREET TREES, SEE PLANTING PALETTE
- 13: EXTERNALLY ILLUMINATED MONUMENT SIGN, SEE SITE AMENITIES DETAILS
- 14: DEPRESSED LOADING DOCK
- 15: LOADING SPACE
- 16: AMENITY FACING COMMERCIAL SPACE SHOWN HATCHED
- 17: PROPOSED PROPERTY LINE
- 18: FIRE SPRINKLER BACK FLOW DEVICE
- 19: PRIVATE SHARED ACCESS DRIVEWAY
- 20: MAINTENANCE PATH
- 21: 8' WIDE ACCESS GATE
- 22: FIRE HYDRANT
- 23: DECORATIVE BLOCK WALL AT SOUTHERN BOUNDARY



CONCEPTUAL OVERALL SITE PLAN



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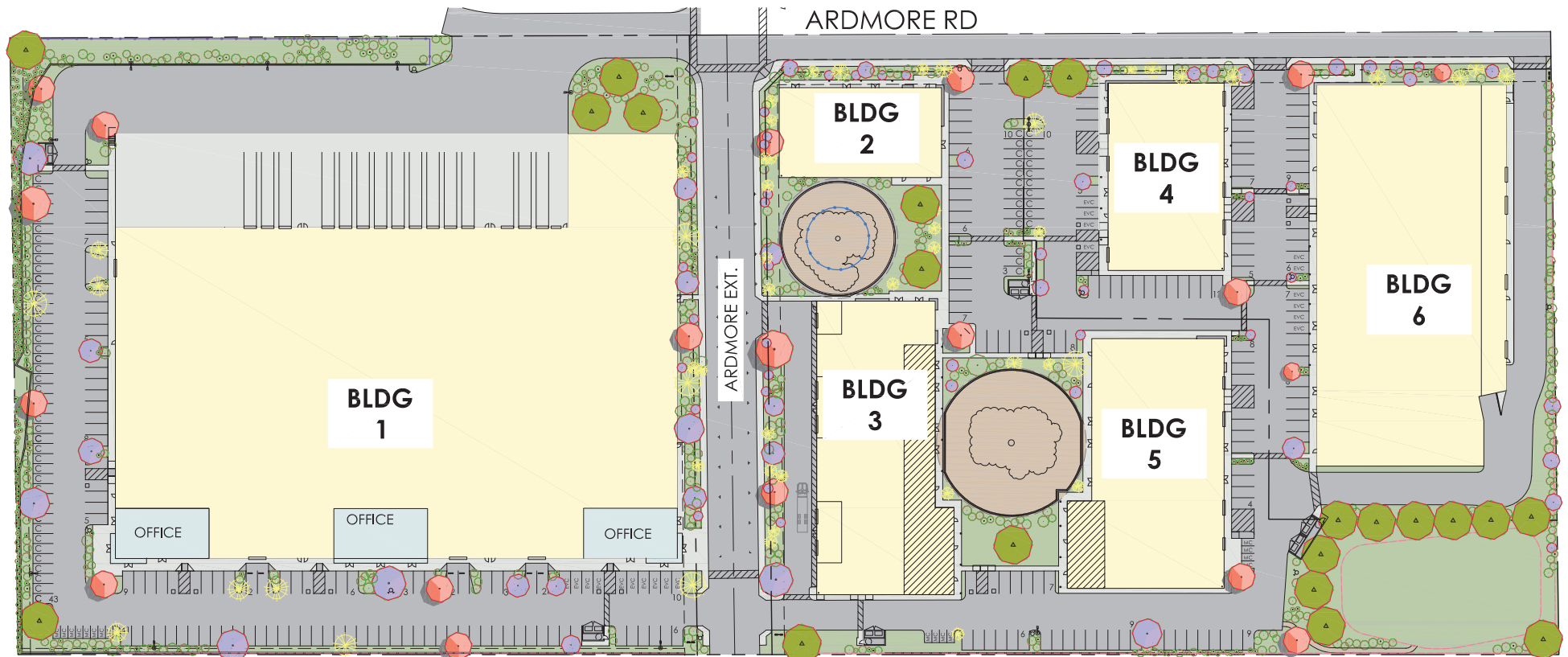


ARDMORE INDUSTRIAL
PASO ROBLES, CA
PROPOSED ARCHITECTURAL
SITE PLAN

JULY 24, 2023
1" = 80' @ 11x17
1" = 40' @ 24x36
A1.0

Exhibit C

LEGEND



CONCEPTUAL PEDESTRIAN ACCESS PLAN



0 20 40 80

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ARDMORE INDUSTRIAL
PASO ROBLES, CA
PEDESTRIAN ACCESS PLAN

JULY 24, 2023

1" = 80' @ 11x17

1" = 40' @ 24x36

Sheet

A1.1

Exhibit C

FENCING LEGEND

DECORATIVE MASONRY WALL PER SECTION 21.13.030.F.1.a



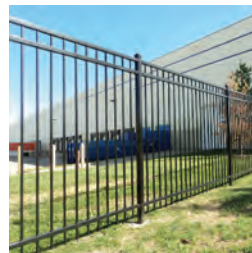
CHAINLINK WITH PRIVACY SLATS:



VINYL COATED CHAIN LINK:



BLACK TUBE STEEL:



REFERENCE NOTES

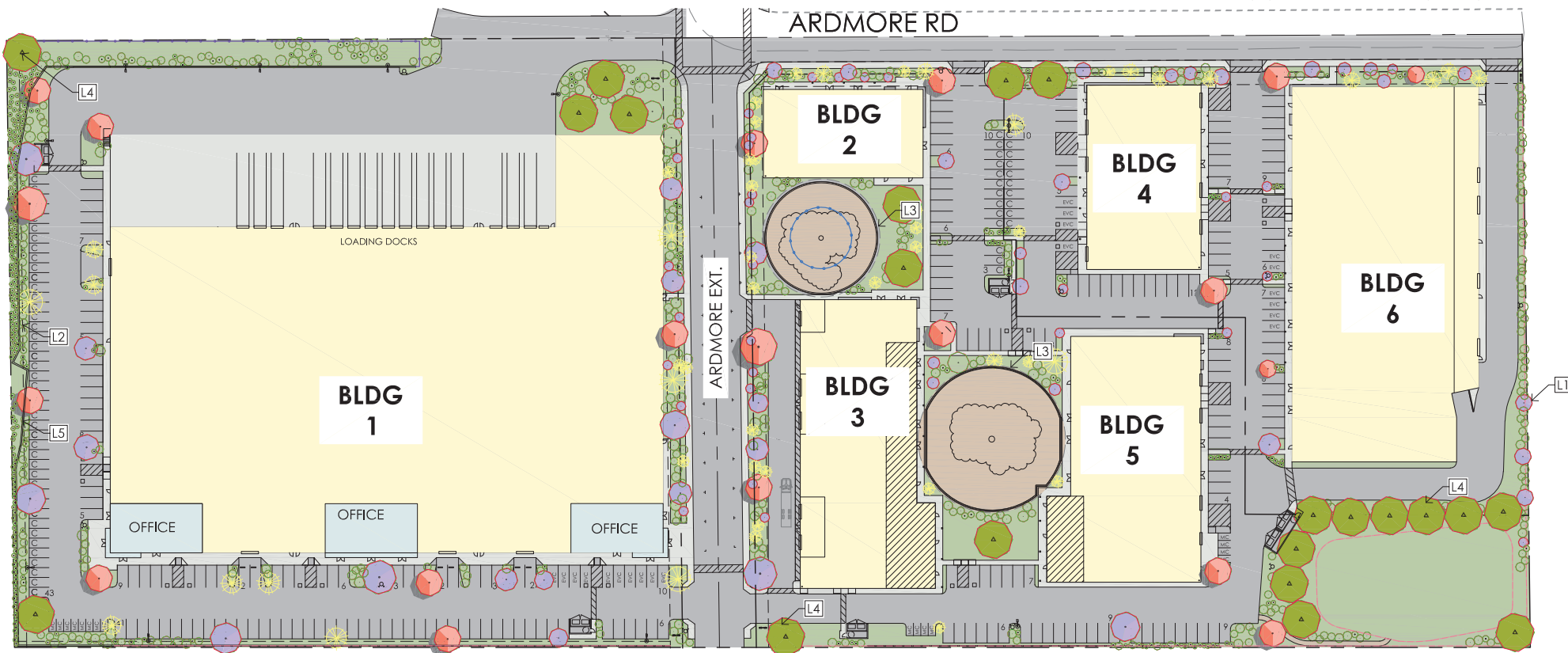
- L1: SLOPED LANDSCAPE BUFFER
- L2: HEDGE BUFFER ALONG WALL AT PROPERTY LINE
- L3: CRITICAL ROOT ZONE OF EXISTING OAK TO BE PROTECTED IN PLACE
- L4: 2" DIA REPLACEMENT OAK TREE
- L5: DECORATIVE BLOCK WALL ALONG SOUTHERN BOUNDARY

OAK TREE MITIGATION

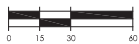


2" DIA. REPLACEMENT OAK TREE

TOTAL INCHES (DBH) OF OAKS TREE TO BE MITIGATED: **67.5"**
PROPOSED:
(21) NEW OAK TREES ONSITE (42" DBH) + 25.5" OFFSITE = **67.5"**



CONCEPTUAL OVERALL LANDSCAPE PLAN



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ARDMORE INDUSTRIAL
PASO ROBLES, CA
CONCEPTUAL LANDSCAPE
PLAN

DATE: JULY 24, 2023
SCALE: 1" = 30' @ 11x17
1" = 40' @ 24x36
SHEET: **L1.1**

WATER CONSERVATION

WATER CONSERVATION NOTES

THE FOLLOWING WATER CONSERVATION TECHNIQUES SHALL BE EMPLOYED IN THIS PROJECT:

- WATER CONSERVING PLANTS, DEFINED AS "LOW" OR "VERY LOW" IN THE "WATER USE CLASSIFICATION OF LANDSCAPE SPECIES" (WULCOS IV, UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION), SHALL BE UTILIZED IN 75% OF THE TOTAL PLANT AREA.
- IRRIGATION SYSTEM SHALL BE SEPARATED INTO DISTINCT HYDROZONES BASED ON PLANT MATERIAL TYPES, EXPOSURE, AND ORIENTATION.
- SOIL AMENDMENTS AND A 3" LAYER OF MEDIUM BARK MULCH SHALL BE UTILIZED TO IMPROVE WATER HOLDING CAPACITY OF SOIL AND INHIBIT EVAPORATION.
- LAWN IS NOT USED.

STATEMENT OF WATER CONSERVING IRRIGATION DESIGN

THE FOLLOWING PRINCIPLES OF IRRIGATION DESIGN UTILIZED ON THIS PROJECT ARE DIRECTED SPECIFICALLY AS CONSERVING WATER AND IMPROVING THE EFFICIENCY OF THE IRRIGATION SYSTEM.

- ALL IRRIGATION SHALL BE DRIP OR DRIP-TYPE AND/OR MICROSPRAY SYSTEMS ONLY. LOW PRECIPITATION RATE HEADS TO BE USED TO MINIMIZE RUNOFF.
- IRRIGATION HYDROZONES SHALL ADJUST ACCORDING TO WATER NEEDS AND WEATHER.
- UTILIZATION OF IRRIGATION SYSTEM MASTER VALVE.
- UTILIZATION OF IRRIGATION SYSTEM "SMART CONTROLLER" WITH WATER BUDGETING FEATURE.
- UTILIZATION OF IRRIGATION SYSTEM FLOW SENSOR.
- UTILIZATION OF RAIN SHUT-OFF DEVICE CONNECTED TO IRRIGATION CONTROLLER.

OAK REMOVAL AND REPLACEMENT

PER EL PASO DE ROBLES MUNICIPAL CODE SECTION 10.01.050E, REPLACEMENT OAK DBH:

TREE 1: 43"

TREE 2: 47"

TREE 3: 47"

TREE 4: 52"

TREE 9: 51"

TREE 11: 30"

TOTAL: 270' x .25 = 67.5"

Arris Studio Architects		Admore Road, Paso Robles, CA		6/8/2023
Site Area		Sq. Ft.		
Total Site Area		610,929	SF	
Site Area	%	Sq. Ft.		
Hardscape Area	84%	511,858	SF	
Landscape Area	15%	113,946	SF	
Landscape Area Percentage (Net Area)		2.1%		
HYDROZONE CHART & LANDSCAPE WATER USE SUMMARY				
Maximum Annual Water Allowance (MAWA)				
Total square footage of landscape		113,946	SF	
Dist ET for the area		49	IN/YR	
Conversion Factor (to gallons)		0.62		
ET Adjustment Factor (ETAF)		0.7		
MAWA		3240	cct/yr	
MAWA		2,423,166	gal/yr	
HYDROZONE CHART				
Hydrozone # 1: Low / Very Low (Shrub Drip)	Plant Factor	0.3		
square footage of hydrozone		113,946	SF	
hydrozone irrigation efficiency		0.86		
EAWU		1207558	gal/yr	
EAWU		1614	cct/yr	
ESTIMATED ANNUAL WATER USE				
EAWU		1,207,558	gal/yr	
EAWU		1614	cct/yr	
LANDSCAPE WATER USE SUMMARY				
MAWA	2,423,166	EAWU < MAWA	1625	
EAWU	1,207,558	(this number must be positive)	cct saved	
PERCENTAGE OF MAWA USED	50 %			



EVERGREEN ELM



GOLDEN RAIN



LEYLAND CYPRESS



CRAPE MYRTLE



EUCALYPTUS NICHOLII



SILVER SHEEN



CALIFORNIA PRIVET



FLAX LILY



AMERICAN BOXWOOD



BLUE FESCUE



CENTURY PLANT



CALIFORNIA LILAC



BLUE STAR JUNIPER



MUHLY GRASS

NOTE:
PLANT IMAGERY SHOWN IS
REPRESENTATIVE ONLY. FINAL
SELECTIONS MAY VARY.

PLANTING SELECTION

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WALLACE GROUP

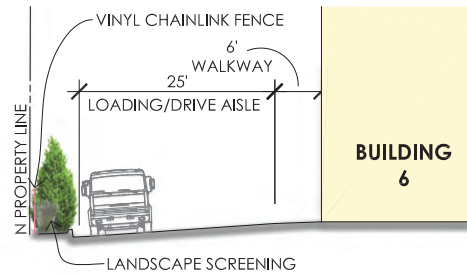
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ARRIS
STUDIO ARCHITECTS

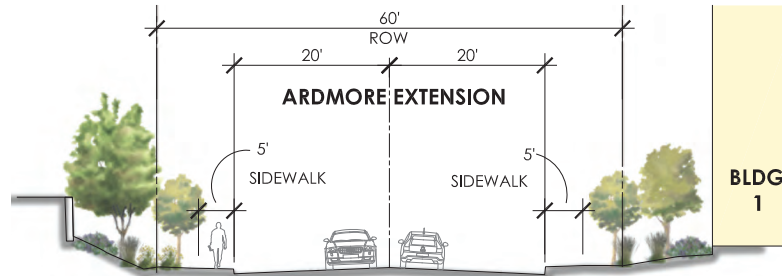
ARDMORE INDUSTRIAL
PASO ROBLES, CA
LANDSCAPE PALETTE

DATE: MARCH 16, 2023
SCALE: 1" = 60' @ 11x17
SHEET: 1" = 30' @ 24x36
L1.2

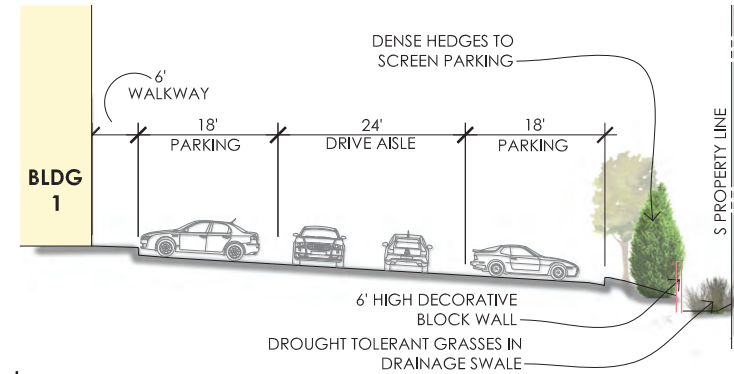
Exhibit C



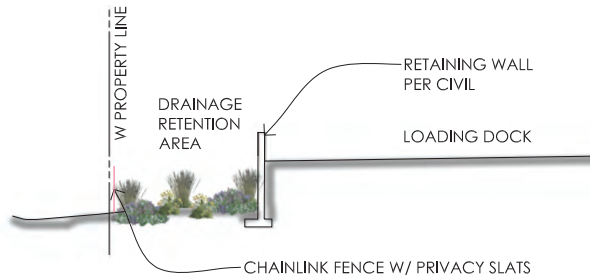
SECTION A - NORTH PL @ BLDG 6



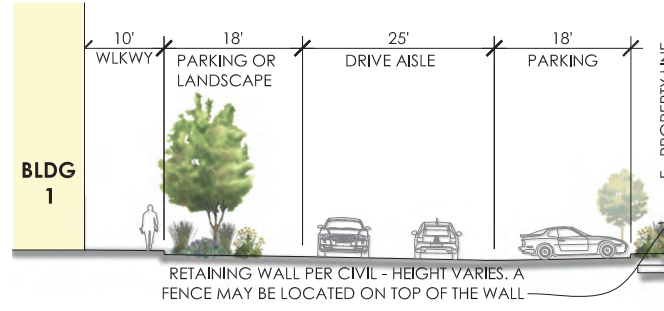
SECTION B - ARDMORE EXT. (LOOKING EAST)



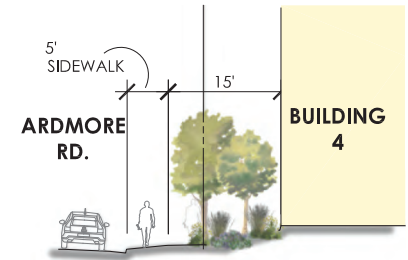
SECTION C - SOUTH PL @ BLDG 1



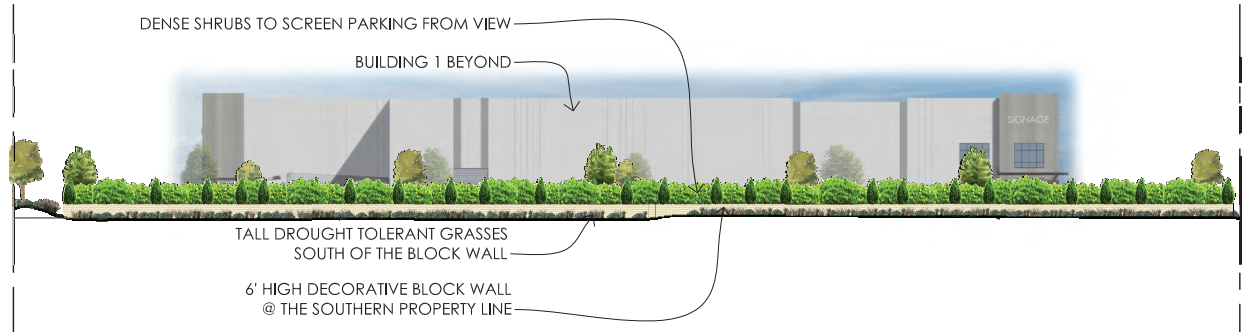
SECTION D - WEST PL @ LOADING DOCKS



SECTION E - EAST PL @ BLDG 1

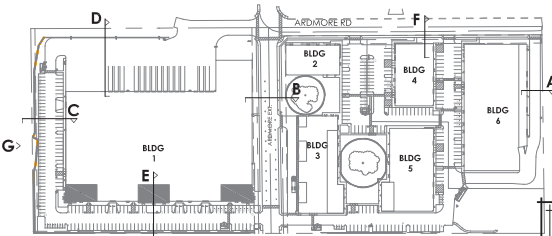


SECTION F - ARDMORE ROAD @ BLDG 4 (LOOKING NORTH)



ELEVATION G - SOUTHERN PROPERTY LINE

SCALE: 1/4" = 1'-0"



KEY PLAN

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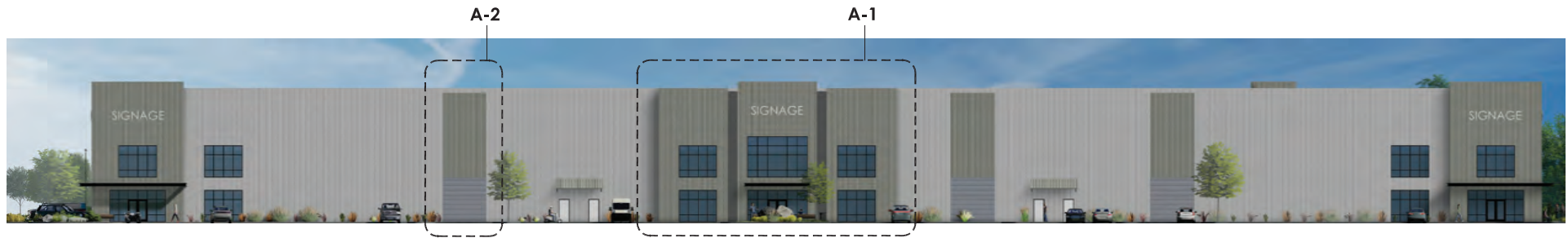
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A California Corporation



ARDMORE INDUSTRIAL
PASO ROBLES, CA
SITE SECTIONS & SOUTHERN
PROPERTY LINE ELEVATION

DATE: JULY 24, 2023
SCALE: 1/16" = 1'-0" @ 11x17
1/8" = 1'-0" @ 24x36
L1.3

Exhibit C

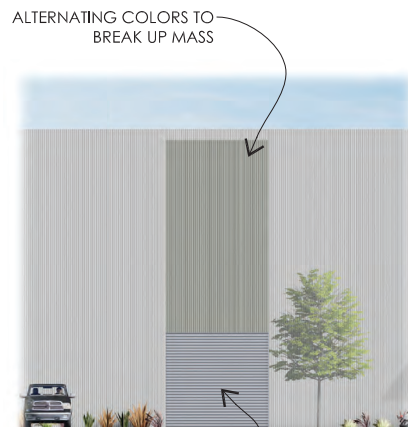


BUILDING 1 DETAILS
EAST ELEVATION SHOWN



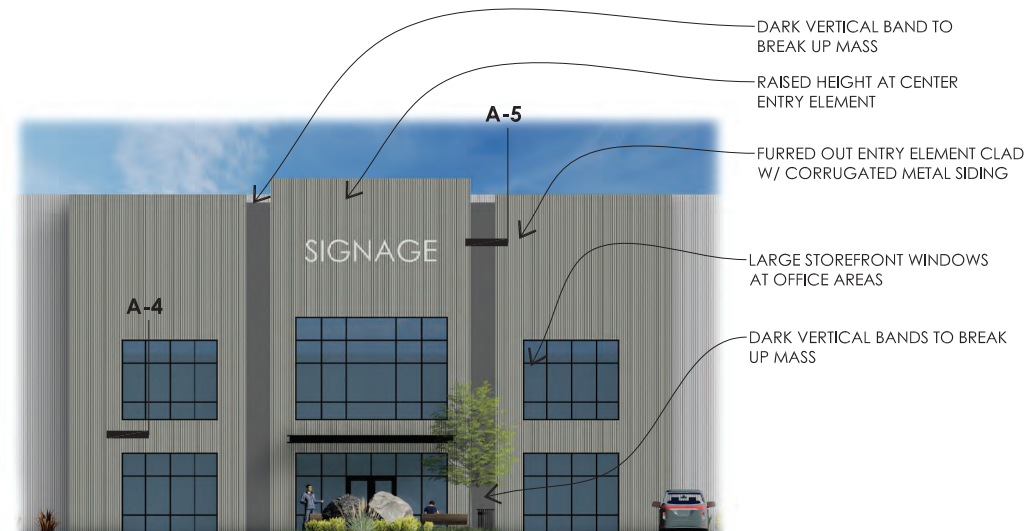
A-3

PERFORATED METAL
SHADE PANELING



A-2

CONTRASTING ROLL-UP
SERVICE DOOR



A-1

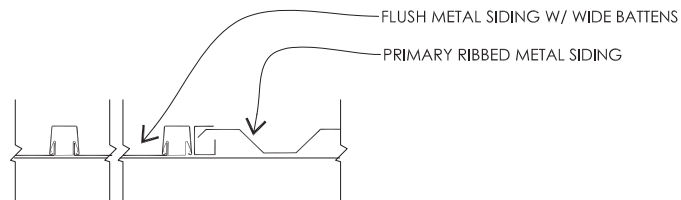
DARK VERTICAL BAND TO
BREAK UP MASS

RAISED HEIGHT AT CENTER
ENTRY ELEMENT

FURROWED OUT ENTRY ELEMENT
CLAD W/ CORRUGATED METAL
SIDING

LARGE STOREFRONT WINDOWS
AT OFFICE AREAS

DARK VERTICAL BANDS TO BREAK
UP MASS



A-5

FLUSH METAL SIDING W/ WIDE BATTENS

PRIMARY RIBBED METAL SIDING



A-4

PRIMARY RIBBED METAL SIDING

RECESSED STOREFRONT
PANELS AND FRAME

DESIGN DETAILS - BUILDING 1

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ARRIS
STEEL BUILDINGS

ARDMORE INDUSTRIAL
PASO ROBLES, CA
DESIGN DETAILS
BUILDING 1

DATE: JULY 24, 2023
SCALE: NO SCALE
SHEET: **A2.0**

Exhibit C



PEDESTRIAN FOCUSED ELEVATION
(BUILDING 3 - NORTH ELEVATION SHOWN)



DESIGN DETAILS - PEDESTRIAN FOCUSED

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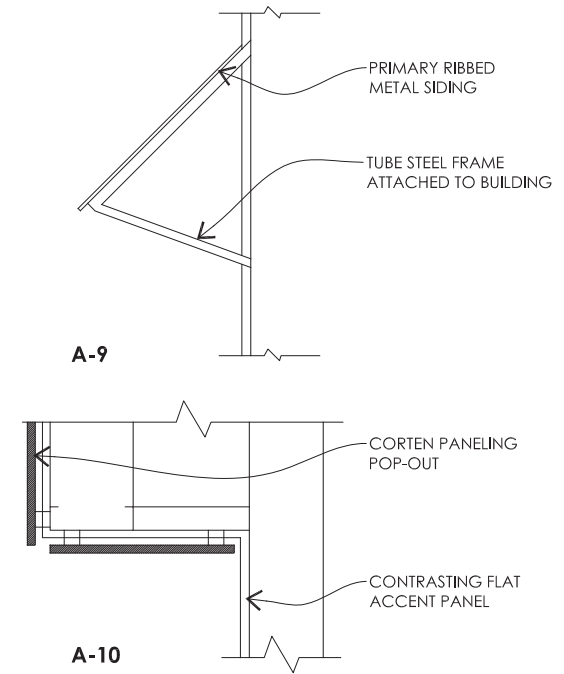
ARDMORE INDUSTRIAL
PASO ROBLES, CA
DESIGN DETAILS
PEDESTRIAN FOCUSED

DATE: JULY 24, 2023
TITLE: NO SCALE
SHEET: **A2.1**

Exhibit C



SERVICE FOCUSED ELEVATION
(BUILDING 3 - SOUTH ELEVATION SHOWN)



DESIGN DETAILS - SERVICE FOCUSED

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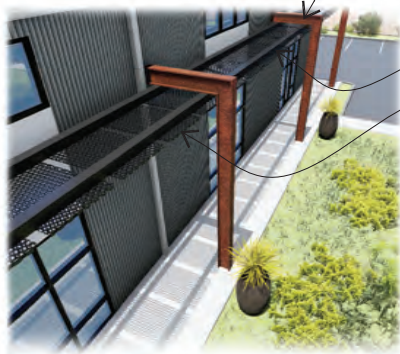
ARDMORE INDUSTRIAL
PASO ROBLES, CA
DESIGN DETAILS
SERVICE FOCUSED

DATE: JULY 24, 2023
TITLE: NO SCALE
SHEET: **A2.2**

Exhibit C



HYBRID FOCUSED ELEVATION
(BUILDING 4 - NORTH ELEVATION SHOWN)



- PRIMARY STEEL MEMBERS
- SECONDARY CROSS BEAMS
- PERFORATED METAL SHADE PANELING

A-16



- FRAMED AWNING @ STOREFRONT ENTRY

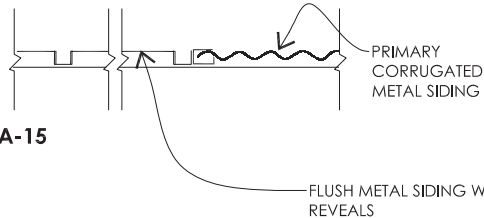
A-14



- VARYING HEIGHTS OF STRUCTURE
- HIGH CLERESTORY WINDOWS
- TRELLIS ELEMENT @ WALKWAYS AND ENTRANCES

A-16

A-13



A-15

- PRIMARY CORRUGATED METAL SIDING

- FLUSH METAL SIDING W/ REVEALS

DESIGN DETAILS - HYBRID FOCUSED

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ARDMORE INDUSTRIAL
PASO ROBLES, CA
DESIGN DETAILS
HYBRID FOCUSED

DATE: JULY 24, 2023
SCALE: NO SCALE
A2.3

Exhibit C

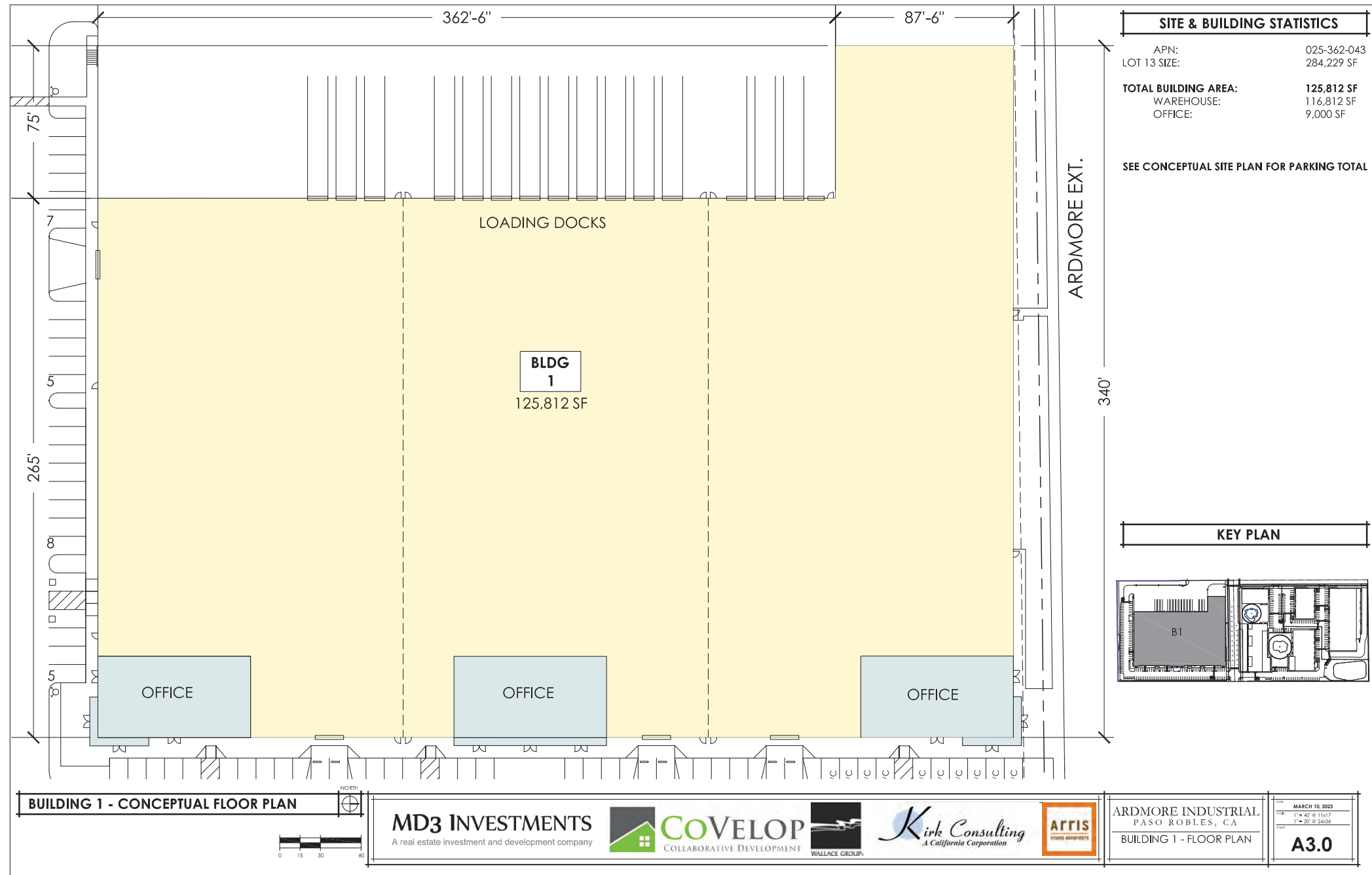
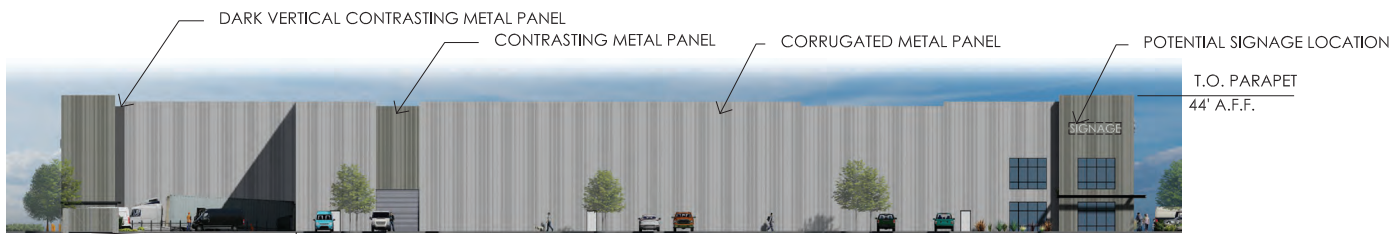


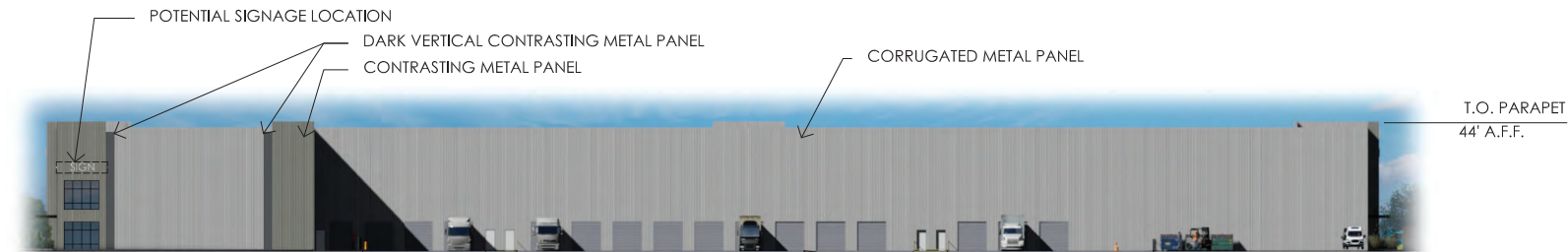
Exhibit C



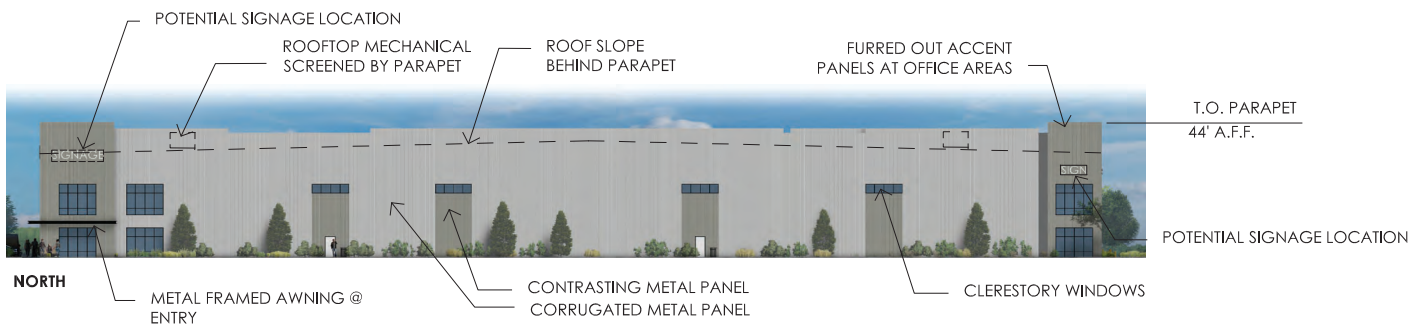
EAST



SOUTH



WEST



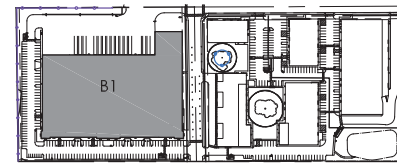
NORTH

SITE & BUILDING STATISTICS

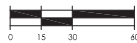
PER PASO ROBLES M.C. 21.19.040, 1 SF OF WALL SIGNAGE IS ALLOWED FOR EACH LINEAR FOOT OF FRONTAGE.

FRONTAGE: 340'-0"
SIGNAGE LIMIT: 340 SF

KEY PLAN



BUILDING 1 - CONCEPTUAL EXTERIOR ELEVATIONS



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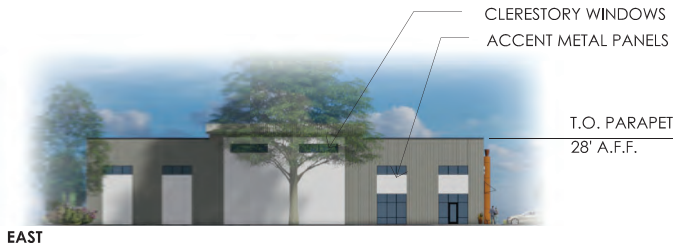
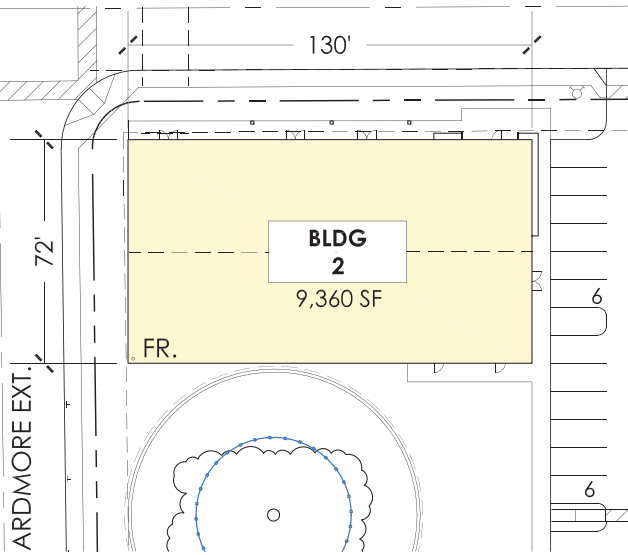


ARDMORE INDUSTRIAL
PASO ROBLES, CA
BUILDING 1 -
EXTERIOR ELEVATIONS

DATE: MARCH 10, 2023
SCALE: 1" = 40' @ 11x17
1" = 20' @ 26x36
Sheet: **A3.1**

Exhibit C

ARDMORE RD



SITE & BUILDING STATISTICS

APN: 025-362-043
LOT 6 SIZE: 326,700 SF

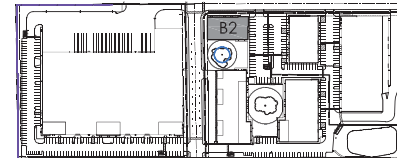
TOTAL BUILDING AREA: 9,360 SF
COMMERCIAL/RETAIL: 4,680 SF
STORAGE: 4,680 SF

SEE CONCEPTUAL SITE PLAN FOR PARKING TOTAL

PER PASO ROBLES M.C. 21.19.040, 1 SF OF WALL SIGNAGE IS ALLOWED FOR EACH LINEAR FOOT OF FRONTAGE.

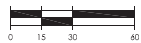
FRONTAGE: 202'-0"
SIGNAGE LIMIT: 202 SF

KEY PLAN



BUILDING 2 - CONCEPTUAL FLOOR PLAN

BUILDING 2 - EXTERIOR ELEVATIONS



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CoVELOP
COLLABORATIVE DEVELOPMENT

WALLACE GROUP

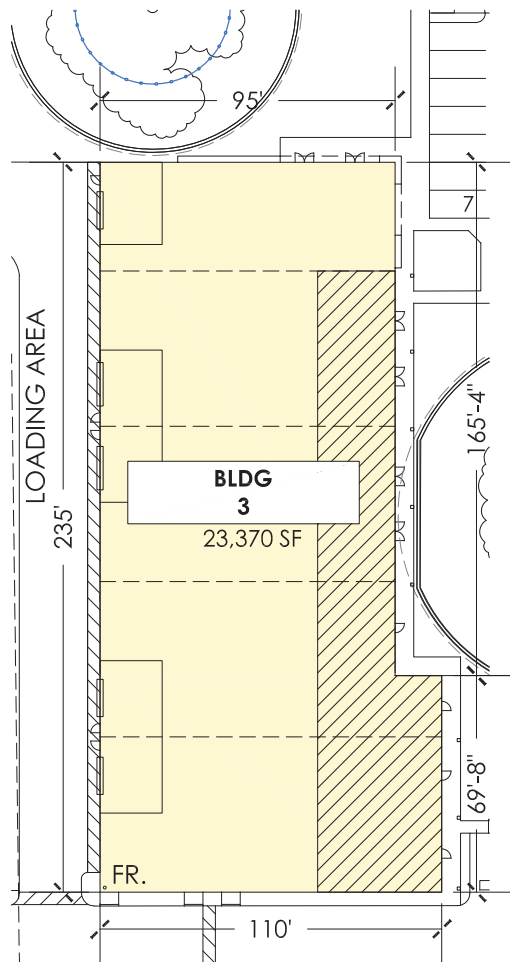
Kirk Consulting
A California Corporation

ARRIS
STUDIO ARCHITECTS

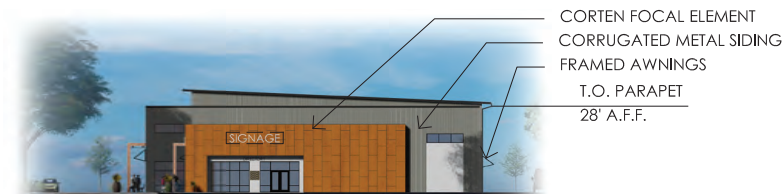
ARDMORE INDUSTRIAL
PASO ROBLES, CA
BUILDING 2 - FLOOR PLAN &
EXTERIOR ELEVATIONS

DATE: MARCH 10, 2023
SCALE: 1" = 40' @ 11x17
1" = 20' @ 24x36
A3.2

Exhibit C



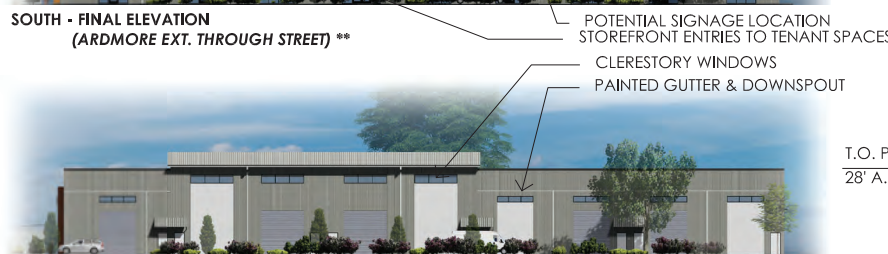
NORTH



WEST



SOUTH - FINAL ELEVATION
(ARDMORE EXT. THROUGH STREET)**



SOUTH - INTERIM ELEVATION
(ARDMORE EXT. DEAD END)**



EAST - FINAL ELEVATION

SITE & BUILDING STATISTICS

APN:	025-362-043
LOT 6 SIZE:	326,700 SF
TOTAL BUILDING AREA:	23,370 SF
COMMERCIAL/RETAIL:	2,012 SF
WINEMAKING:	4,024 SF
STORAGE:	17,334 SF

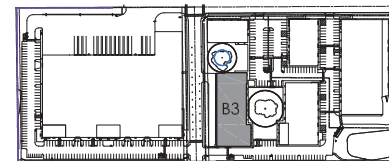
SEE CONCEPTUAL SITE PLAN FOR PARKING TOTAL

PER PASO ROBLES M.C. 21.19.040, 1 SF OF WALL SIGNAGE IS ALLOWED FOR EACH LINEAR FOOT OF FRONTAGE.

FRONTAGE:	235'-0"
SIGNAGE LIMIT:	235 SF

** THE SOUTH ELEVATION HAS BEEN DESIGNED TO EVOLVE OVERTIME WITH THE TENANT DEMANDS AND THE DEVELOPMENT OF ARDMORE EXTENSION. WHILE ARDMORE EXTENSION IS A DEAD END WITH LITTLE RETAIL DEMAND, THE INTERIM ELEVATION CATERES TO A MORE INDUSTRIAL TENANT WITH CURBSIDE LOADING AND ROLL-UP DOORS. AS ARDMORE EXTENSION DEVELOPS INTO A THROUGH STREET WITH RETAIL DEMAND, THE BUILDING ALSO TRANSFORMS TO PROVIDE A RETAIL FRONTAGE WITH STOREFRONT ENTRIES.

KEY PLAN



BUILDING 3 - CONCEPTUAL FLOOR PLAN

BUILDING 3 - EXTERIOR ELEVATIONS



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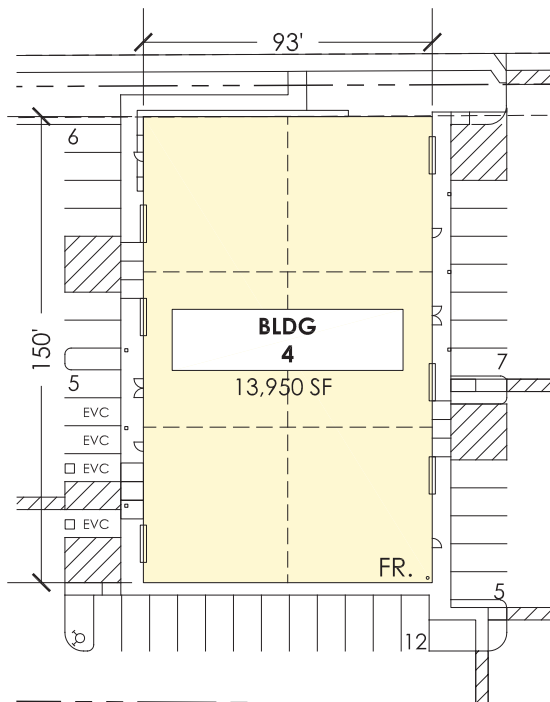
Kirk Consulting
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ARRIS
INDUSTRIAL DEVELOPMENT

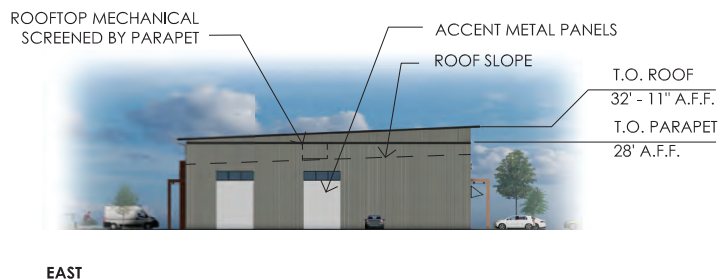
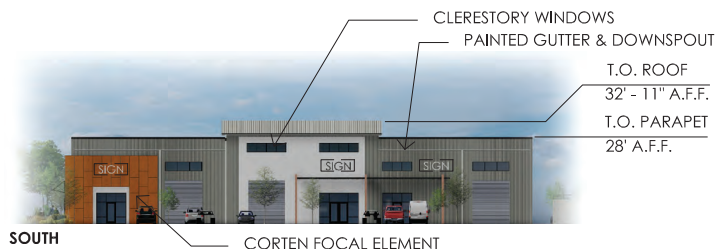
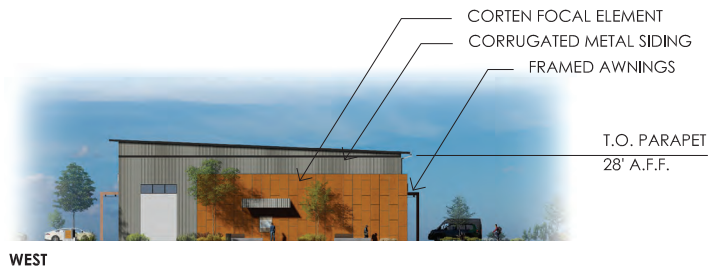
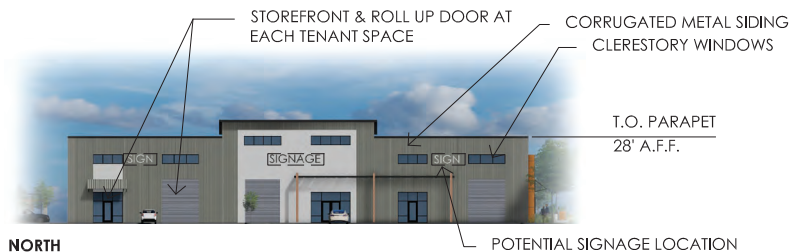
ARDMORE INDUSTRIAL
PASO ROBLES, CA
BUILDING 3 - FLOOR PLAN &
EXTERIOR ELEVATIONS

DATE: MARCH 10, 2023
SCALE: 1" = 40' @ 11x17
1" = 20' @ 24x36
PROJECT: **A3.3**

Exhibit C



BUILDING 4 - CONCEPTUAL FLOOR PLAN



BUILDING 4 - EXTERIOR ELEVATIONS

SITE & BUILDING STATISTICS

APN: 025-362-043
LOT 6 SIZE: 326,700 SF

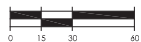
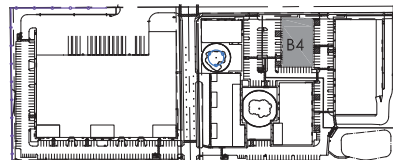
TOTAL BUILDING AREA: 13,950 SF
STORAGE: 3,488 SF
MANUFACTURING: 6,975 SF
WINEMAKING: 3,487 SF

SEE CONCEPTUAL SITE PLAN FOR PARKING TOTAL

PER PASO ROBLES M.C. 21.19.040, 1 SF OF WALL SIGNAGE IS ALLOWED FOR EACH LINEAR FOOT OF FRONTAGE.

FRONTAGE: 93'-0"
SIGNAGE LIMIT: 93 SF

KEY PLAN



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PASO ROBLES, CA
BUILDING 4 - FLOOR PLAN & EXTERIOR ELEVATIONS

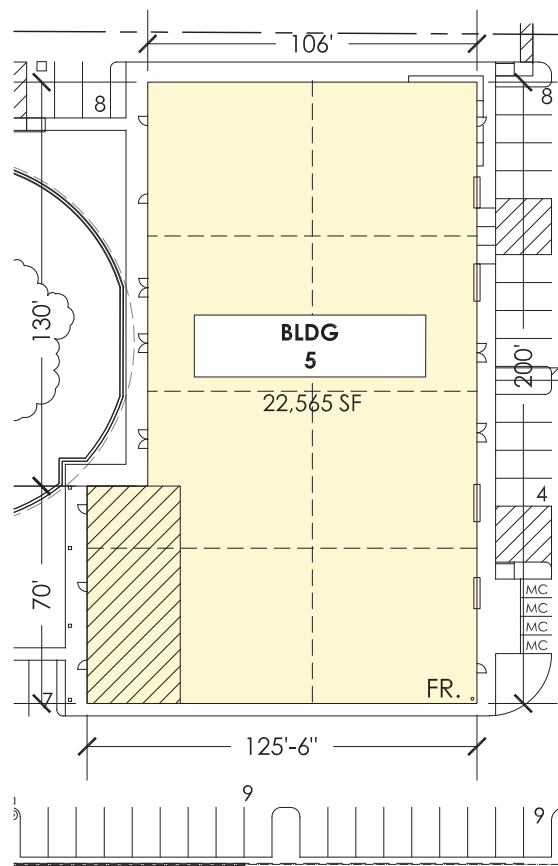
A3.4

MARCH 10, 2023

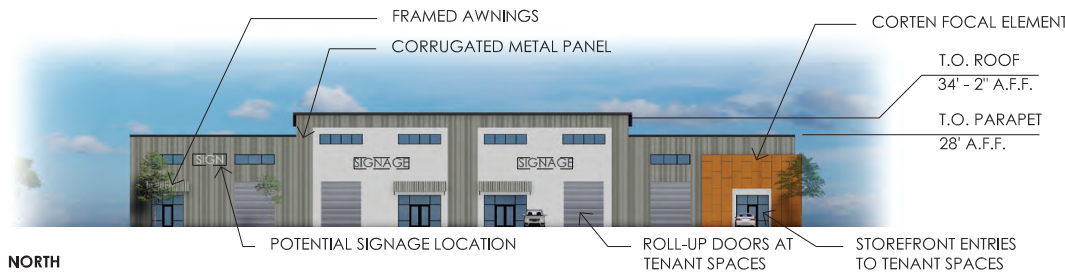
1" = 40' @ 11x17

1" = 20' @ 24x36

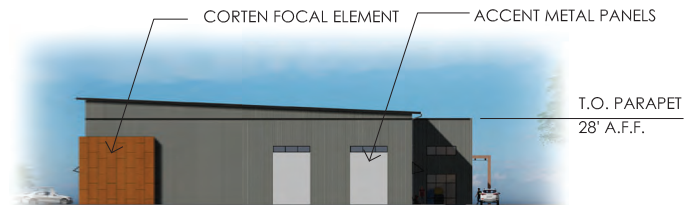
Exhibit C



BUILDING 5 - CONCEPTUAL FLOOR PLAN



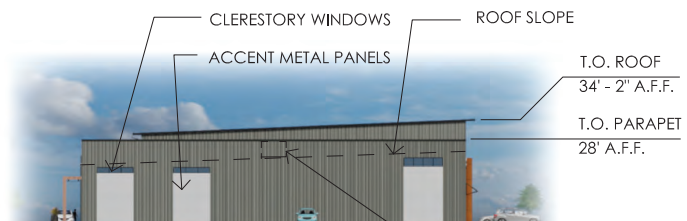
NORTH



WEST



SOUTH



EAST

BUILDING 5 - EXTERIOR ELEVATIONS

SITE & BUILDING STATISTICS

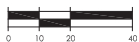
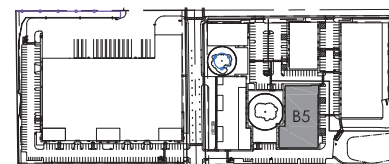
APN:	025-362-043
LOT 6 SIZE:	326,700 SF
TOTAL BUILDING AREA:	22,565 SF
COMMERCIAL/RETAIL:	700 SF
WINEMAKING:	1,400 SF
STORAGE:	6,821 SF
MANUFACTURING:	13,644 SF

SEE CONCEPTUAL SITE PLAN FOR PARKING TOTAL

PER PASO ROBLES M.C. 21.19.040, 1 SF OF WALL SIGNAGE IS ALLOWED FOR EACH LINEAR FOOT OF FRONTAGE.

FRONTAGE:	106'-0"
SIGNAGE LIMIT:	106 SF

KEY PLAN



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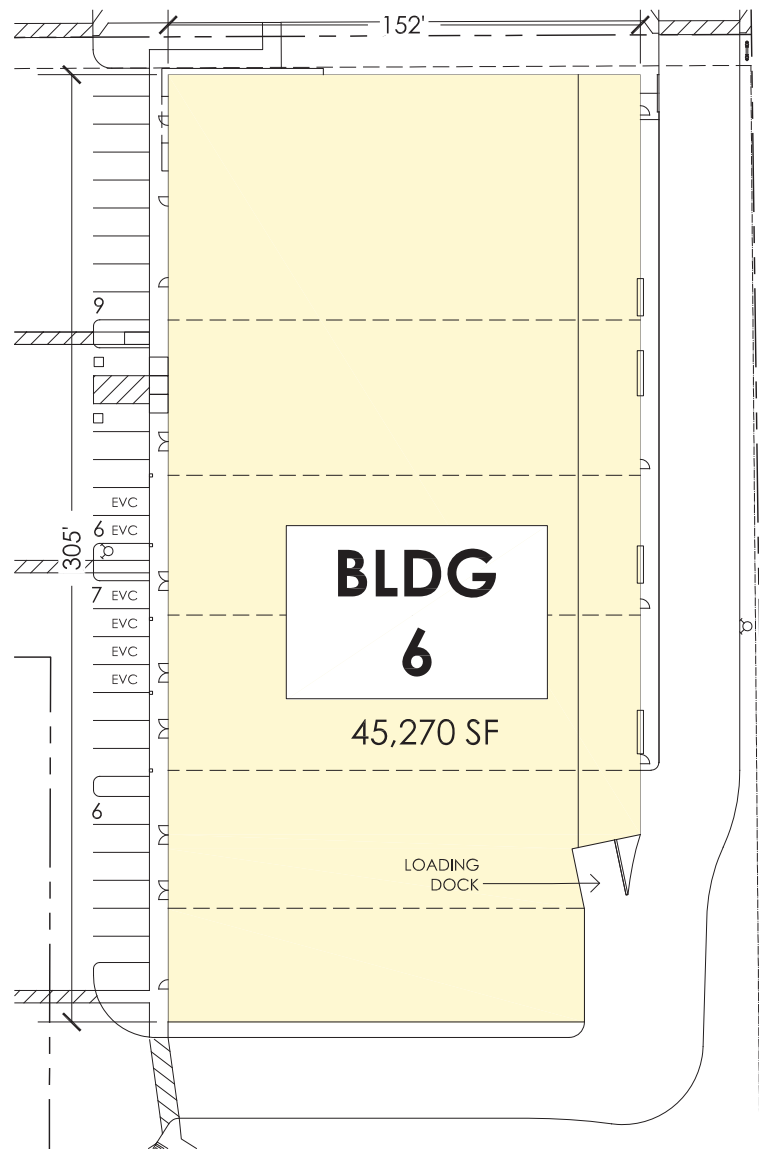
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STRONG ARCHITECTS

ARDMORE INDUSTRIAL
PASO ROBLES, CA
BUILDING 5 - FLOOR PLAN & EXTERIOR ELEVATIONS

A3.5

Exhibit C

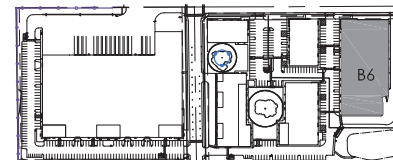


SITE & BUILDING STATISTICS

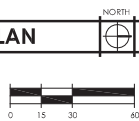
APN:	025-362-043
LOT 6 SIZE:	326,700 SF
TOTAL BUILDING AREA:	45,270 SF
STORAGE:	7,948 SF
MANUFACTURING:	5,217 SF
WINEMAKING:	32,105 SF

SEE CONCEPTUAL SITE PLAN FOR PARKING TOTAL

KEY PLAN



BUILDING 6 - CONCEPTUAL FLOOR PLAN



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COLLABORATIVE DEVELOPMENT



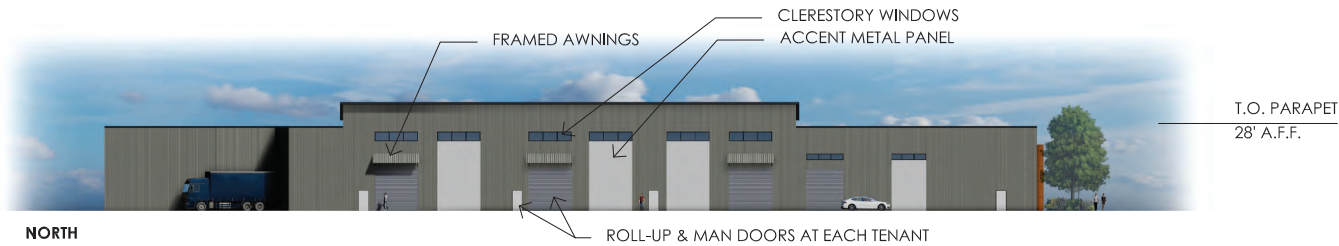
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ARDMORE INDUSTRIAL
PASO ROBLES, CA
BUILDING 6 - FLOOR PLAN

DATE: MARCH 10, 2023
SCALE: 1" = 40' @ 11x17
1" = 20' @ 26x36
A3.6

Exhibit C



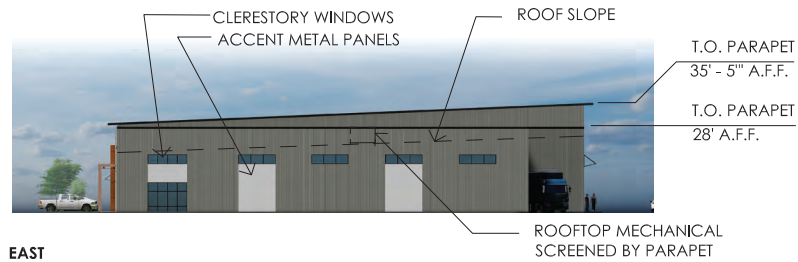
NORTH



WEST



SOUTH



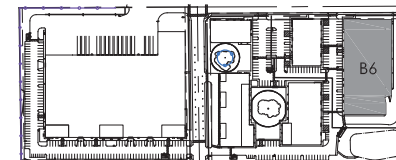
EAST

SITE & BUILDING STATISTICS

PER PASO ROBLES M.C. 21.19.040, 1 SF OF WALL SIGNAGE IS ALLOWED FOR EACH LINEAR FOOT OF FRONTAGE.

FRONTAGE: 152'-0"
SIGNAGE LIMIT: 152 SF

KEY PLAN



BUILDING 6 - CONCEPTUAL EXTERIOR ELEVATIONS

0 15 30 60

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ARDMORE INDUSTRIAL
PASO ROBLES, CA
BUILDING 6 -
EXTERIOR ELEVATIONS

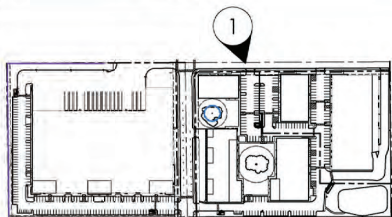
DATE: MARCH 10, 2023
SCALE: 1" = 40' @ 11x17
1" = 20' @ 24x36
A3.7

Exhibit C



LOOKING EAST FROM ARDMORE TO BUILDINGS 3, 4 & 5

KEY PLAN



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ARDMORE INDUSTRIAL
PASO ROBLES, CA
PERSPECTIVE RENDERING

DATE: MARCH 14, 2023
SCALE: NO SCALE
SHEET: **A4.0**

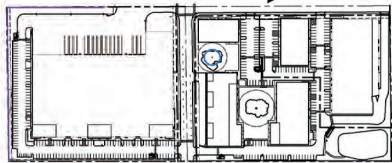
Exhibit C



LOOKING EAST FROM ARDMORE TO BUILDINGS 3 & 4

KEY PLAN

2



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ARDMORE INDUSTRIAL
PASO ROBLES, CA
PERSPECTIVE RENDERING

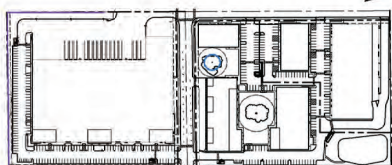
DATE: MARCH 16, 2023
SCALE: NO SCALE
SHEET: **A4.1**

Exhibit C



LOOKING SOUTH FROM ARDMORE TO BUILDINGS 6, 4 & 2

KEY PLAN



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PERSPECTIVE RENDERING

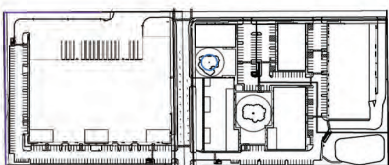
DATE: MARCH 16, 2023
SCALE: NO SCALE
SHEET: **A4.2**

Exhibit C



LOOKING EAST FROM ARDMORE TO BUILDING 6

KEY PLAN



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ARDMORE INDUSTRIAL
PASO ROBLES, CA
PERSPECTIVE RENDERING

DATE: MARCH 16, 2023
SCALE: NO SCALE
SHEET: **A4.3**



LOOKING EAST TO THE OAK TREE PLAZA BETWEEN BUILDING 3 & 5

KEY PLAN



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PASO ROBLES, CA
PERSPECTIVE RENDERING

DATE: MARCH 16, 2023
SCALE: NO SCALE
SHEET: **A4.4**

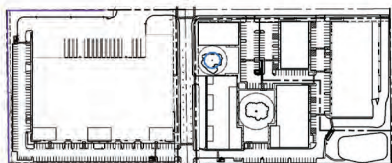
Exhibit C



LOOKING NORTH EAST TO THE CORNER OF ARDMORE AND ARDMORE EXTENSION

KEY PLAN

6



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ARDMORE INDUSTRIAL
PASO ROBLES, CA
PERSPECTIVE RENDERING

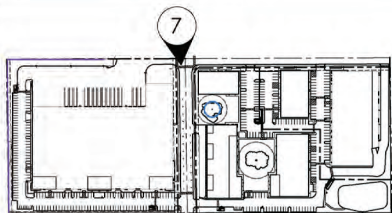
DATE: MARCH 14, 2023
SCALE: NO SCALE
SHEET: **A4.5**

Exhibit C



LOOKING EAST, DOWN ARDMORE EXTENSION

KEY PLAN



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PASO ROBLES, CA
PERSPECTIVE RENDERING

DATE: MARCH 16, 2023

SCALE: NO SCALE

A4.6

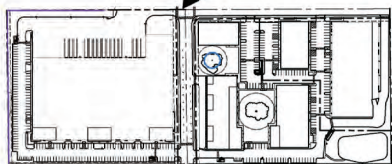
Exhibit C



LOOKING EAST FROM ARDMORE TO BUILDING 1

KEY PLAN

8



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ARDMORE INDUSTRIAL
PASO ROBLES, CA
PERSPECTIVE RENDERING

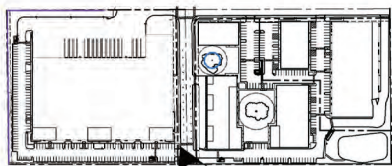
DATE: MARCH 16, 2023
SCALE: NO SCALE
SHEET: **A4.7**

Exhibit C



LOOKING WEST FROM ARDMORE EXT. TO BUILDING 1

KEY PLAN



9

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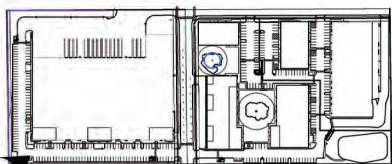
ARDMORE INDUSTRIAL
PASO ROBLES, CA
PERSPECTIVE RENDERING

DATE: MARCH 16, 2023
SCALE: NO SCALE
SHEET: **A4.8**



LOOKING NORTH FROM SOUTH EAST CORNER TO BUILDING 1

KEY PLAN



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PASO ROBLES, CA
PERSPECTIVE RENDERING

DATE: MARCH 14, 2023

SCALE: NO SCALE

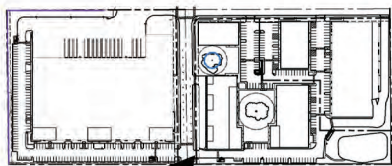
A4.9

Exhibit C



LOOKING WEST, DCWN ARDMORE EXT. THROUGH STREET TO BUILDINGS 2 & 3 - (FINAL ELEVATION - RETAIL DEMAND)

KEY PLAN



11

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PASO ROBLES, CA
PERSPECTIVE RENDERING

DATE: MARCH 16, 2023

SCALE: NO SCALE

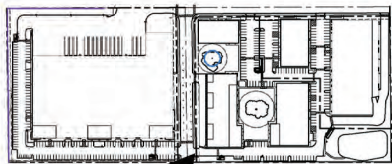
Sheet: **A4.10**

Exhibit C



LOOKING WEST, DOWN ARDMORE EXT. DEAD END TO BUILDINGS 2 & 3 (INTERIM ELEVATION - NO RETAIL DEMAND)

KEY PLAN



12

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ARDMORE INDUSTRIAL
PASO ROBLES, CA
PERSPECTIVE RENDERING

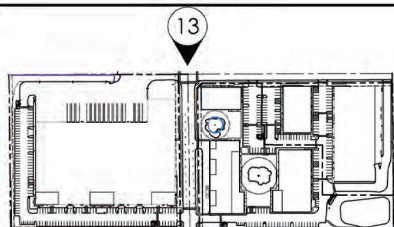
DATE: MARCH 16, 2023
SCALE: NO SCALE
SHEET: **A4.11**

Exhibit C



LOOKING EAST, FROM ARDMORE THROUGH INTERSECTION TO ARDMORE EXTENSION

KEY PLAN



MD3 INVESTMENTS
A real estate investment and development company

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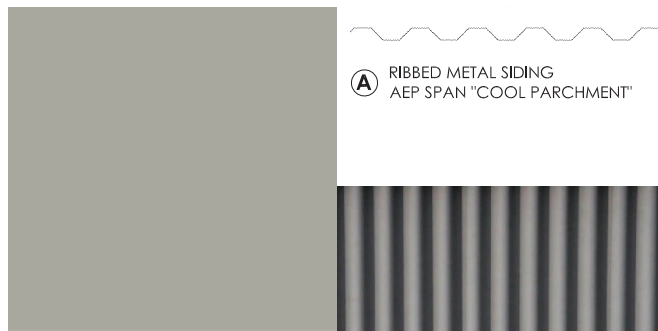
ARDMORE INDUSTRIAL
PASO ROBLES, CA
PERSPECTIVE RENDERING

DATE: JULY 24, 2023
SCALE: NO SCALE
SHEET: **A4.12**

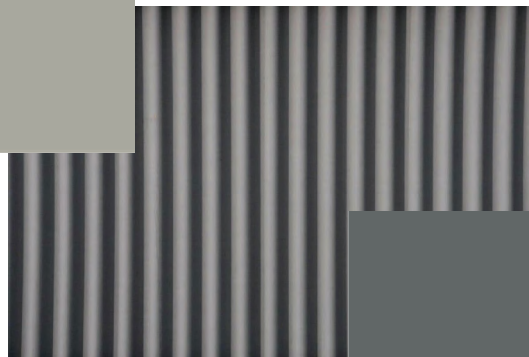
Exhibit C



BUILDING 1 - EAST ELEVATION SHOWN



A RIBBED METAL SIDING
AEP SPAN "COOL PARCHMENT"



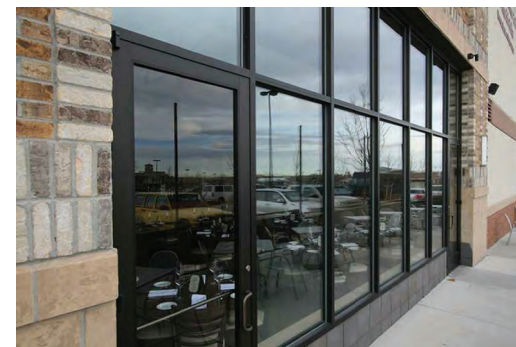
B GREY CORRUGATED METAL SIDING



C FLUSH METAL PANEL
AEP SPAN "COOL SLATE GRAY"



D GREY METAL ROOFING



E BLACK STOREFRONT



F BUILDING MOUNTED LIGHTING
HEIGHT: PER LUMINAIRE LOCATION
SCHEDULE SHEET E3

COLOR & MATERIALS - BUILDING 1

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STEEL BUILDINGS

ARDMORE INDUSTRIAL
PASO ROBLES, CA
COLOR & MATERIALS
BUILDING 1

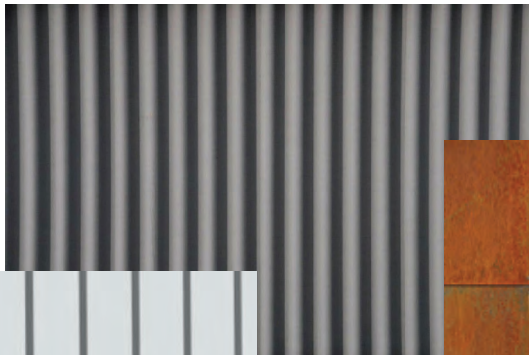
DATE: MARCH 10, 2023
TITLE: NO SCALE
DRAWN: **A5.0**

Exhibit C



BUILDING 3 - NORTH ELEVATION SHOWN

(A) GREY CORRUGATED METAL SIDING



(B) OFF-WHITE FLAT METAL PANEL WITH INTEGRAL REVEAL



(C) CORTEN STEEL PANELS



(D) RUSTED BEAMS/COLUMNS



(E) PERFORATED METAL AWNING



(F) GREY METAL ROOFING



(G) BLACK STOREFRONT



(H) BUILDING MOUNTED LIGHTING
HEIGHT: PER LUMINAIRE
LOCATION SCHEDULE
SHEET E3

COLOR AND MATERIALS - BUILDINGS 2 THRU 6

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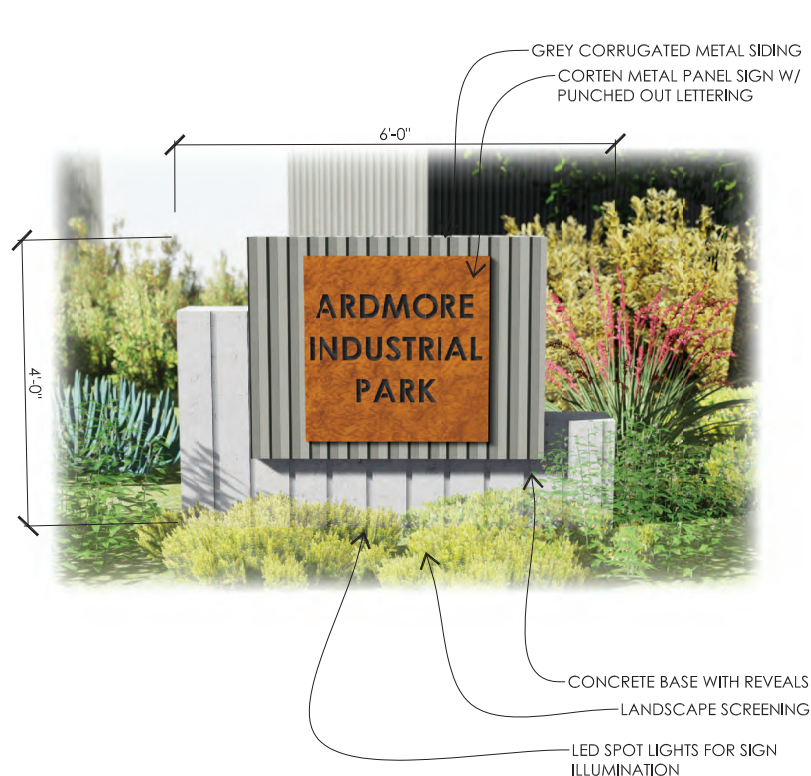
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ARRIS
STEEL BUILDINGS

ARDMORE INDUSTRIAL
PASO ROBLES, CA
COLOR AND MATERIALS
BUILDINGS 2 - 6

DATE: MARCH 10, 2023
TITLE: NO SCALE
SHEET: **A5.1**

Exhibit C



SITE MONUMENT SIGN

SITE LIGHTING FIXTURE

SITE TRASH ENCLOSURE

MD3 INVESTMENTS
A real estate investment and development company

CoVELOP
COLLABORATIVE DEVELOPMENT

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ARRIS
STEEL BUILDINGS

ARDMORE INDUSTRIAL
PASO ROBLES, CA
SITE AMENITY DESIGN

DATE: MARCH 10, 2023
TITLE: NO SCALE
DRAWN: **A5.2**





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LIGHTING DESIGN
ON-SITE SERVICE

23066

877 OLIVE STREET
SANTA BARBARA, CA 93101
(805) 966-6666
FAX (805) 966-6666
email: mahoney@pipe.net
www.pipe.net

MD3 INVESTMENTS / COVELOP

ARDMORE INDUSTRIAL

ARDMORE ROAD
PASO ROBLES, CA

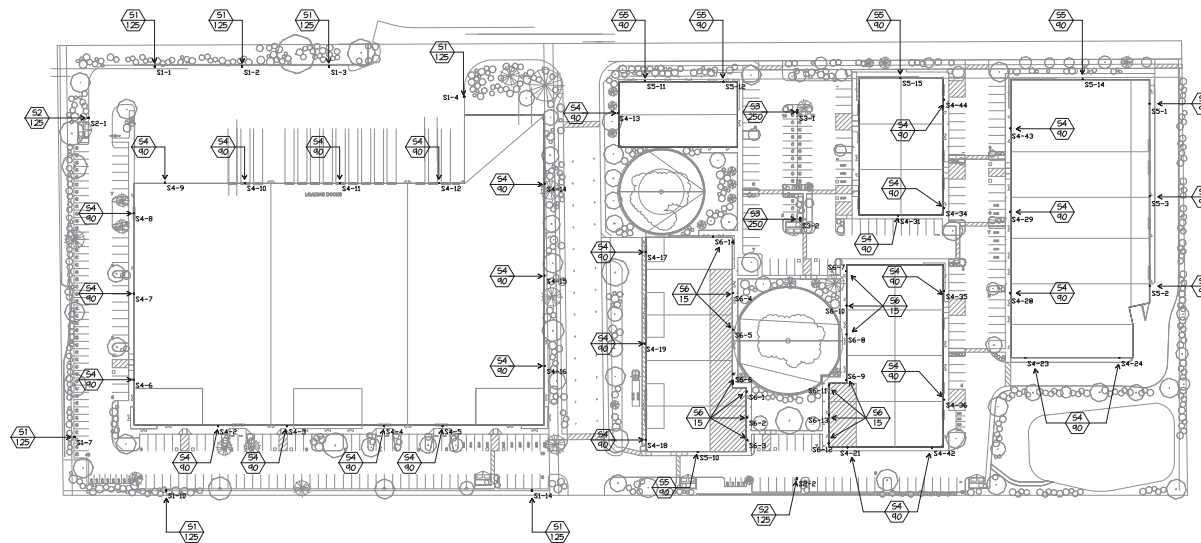
SITE LIGHTING PLAN

[illegible]

Project A.

Date 02/12/2023

E2



SITE LIGHTING PLAN

SCALE: 1" = 50'-0"

- SITE LIGHTING NOTES

1. SEE SHEET E1 FOR POLE BASE DETAIL.
2. ALL LIGHT FIXTURES SHALL BE CONTROLLED VIA PHOTOCELL.
3. SEE SHEET E1 FOR FLUSH PULLBOX DETAIL.
4. ALL LIGHT FIXTURES ARE FULL CUTOFF, DARK SKY COMPLIANT.

LUMINAIRE LOCATIONS

SCALE: 1" = 50'-0"

ARDMORE INDUSTRIAL

ARDMORE ROAD
PASO ROBLES, CA

SITE PHOTOMETRIC PLAN

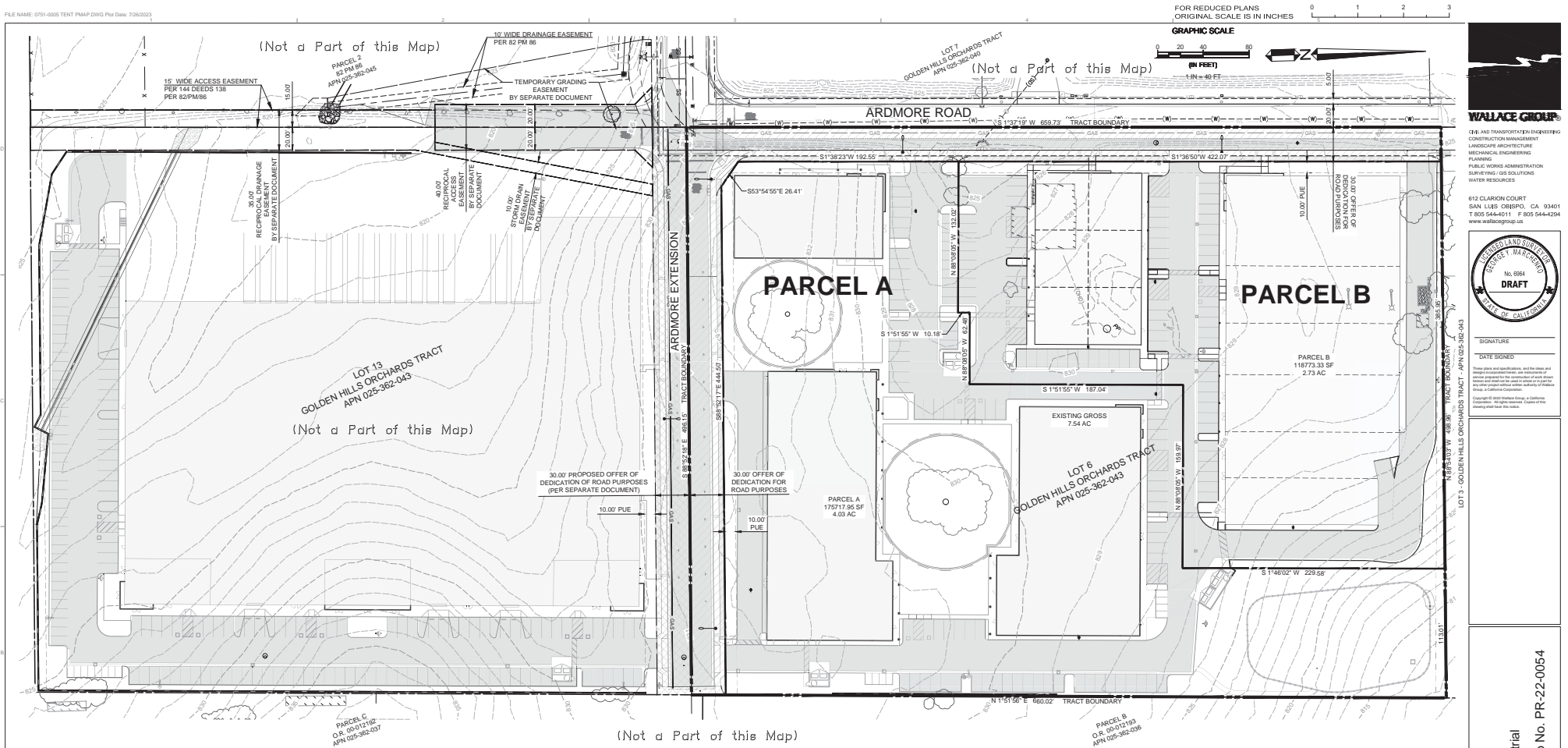
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Project	A.
Date	02/12/2023

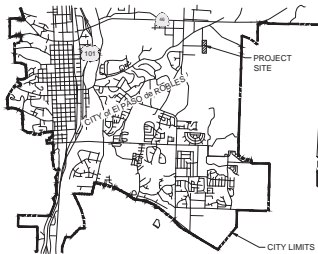
E3

Exhibit C

FILE NAME: 0751-0005 TENT PMP.DWG Plot Date: 7/26/2023



VICINITY MAP:



PROJECT INFORMATION:

PARCEL INFORMATION:

Address: 2930 Union Rd, Paso Robles CA 93446

Assessor's Parcel Number: A portion of 025-362-043
Existing Lot 6
Gross Lot Area: 7.54 Acres - Existing
Net Lot Area: 6.76 Acres - Proposed

Number of New Parcels: 2 Parcels

Parcel A Parcel Area: 4.03 Acres

Parcel B Parcel Area: 2.73 Acres

LEGAL DESCRIPTION:

Being a subdivision of Lot 6 of Golden Hills Orchard Tract in the County of San Luis Obispo, State of California, as shown on map recorded in Book 2, Page 50 of Maps, in the office of the County Recorder of said County, State of California, being 7.54 gross acres.

UTILITIES:

WATER: City of El Paso de Robles
SEWER: City of El Paso de Robles
ELECTRICITY: PG&E
GAS: SOUTHERN CALIFORNIA GAS CO.
TELEPHONE: AT&T
CABLE TV: CHARTER COMMUNICATIONS

EASEMENT NOTE:

PRIVATE RECIPROCAL VEHICULAR ACCESS, RECIPROCAL PEDESTRIAN ACCESS, RECIPROCAL PARKING, STORM DRAIN & DRAINAGE EASEMENTS AND PUE OVER ALL OF PARCELS A & B, INCLUSIVE, EXCLUDING BUILDING LOCATIONS FOR THE USE AND BENEFIT OF THE PRESENT AND FUTURE PARCEL OWNERS OF PARCELS A & B.

SURVEY NOTES:

1. BOUNDARY AND TOPOGRAPHY BY TUCKER J. SANDERS AT NORTH COAST ENGINEERING.

BOUNDARY INFORMATION SHOWN HEREON IS BASED ON RECORD INFORMATION.

a. UNDERGROUND UTILITIES SHOWN HEREIN (IF ANY) ARE BASED ON ABOVE-GROUND STRUCTURES (WHERE AVAILABLE). ACTUAL LOCATION MAY VARY. THEY ARE SHOWN FOR REFERENCE ONLY AND NEED TO BE VERIFIED PRIOR TO ANY CONSTRUCTION.

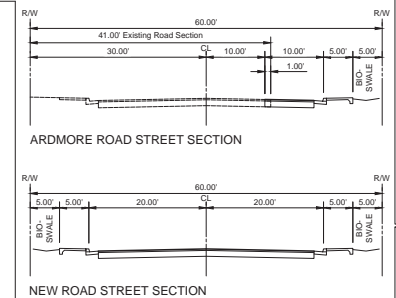
b. ADDITIONAL UNDERGROUND UTILITY SERVICE LINES TO THE PROPERTY MAY EXIST. FOR INFORMATION REGARDING UTILITY LOCATIONS, SIZE, DEPTH, CONDITION, AND CAPACITY, CONTACT UTILITY OWNERS.

c. SITE ADDRESS - 2930, 29402/4 UNION RD, PASO ROBLES, CA.

LEGEND:

PROPOSED PUBLIC STREET OFFER OF DEDICATION.

PROPOSED OFFER OF DEDICATION OF ROAD PURPOSES (PER SEPARATE DOCUMENT).



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10751-0005
DESIGNERS: TZ-GM
DRAWN BY: NMB
DATE: 07/26/2023
DRAWING NO.

ARDMORE INDUSTRIAL
VESTING TENTATIVE PARCEL MAP NO. PR-22-0054

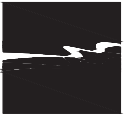
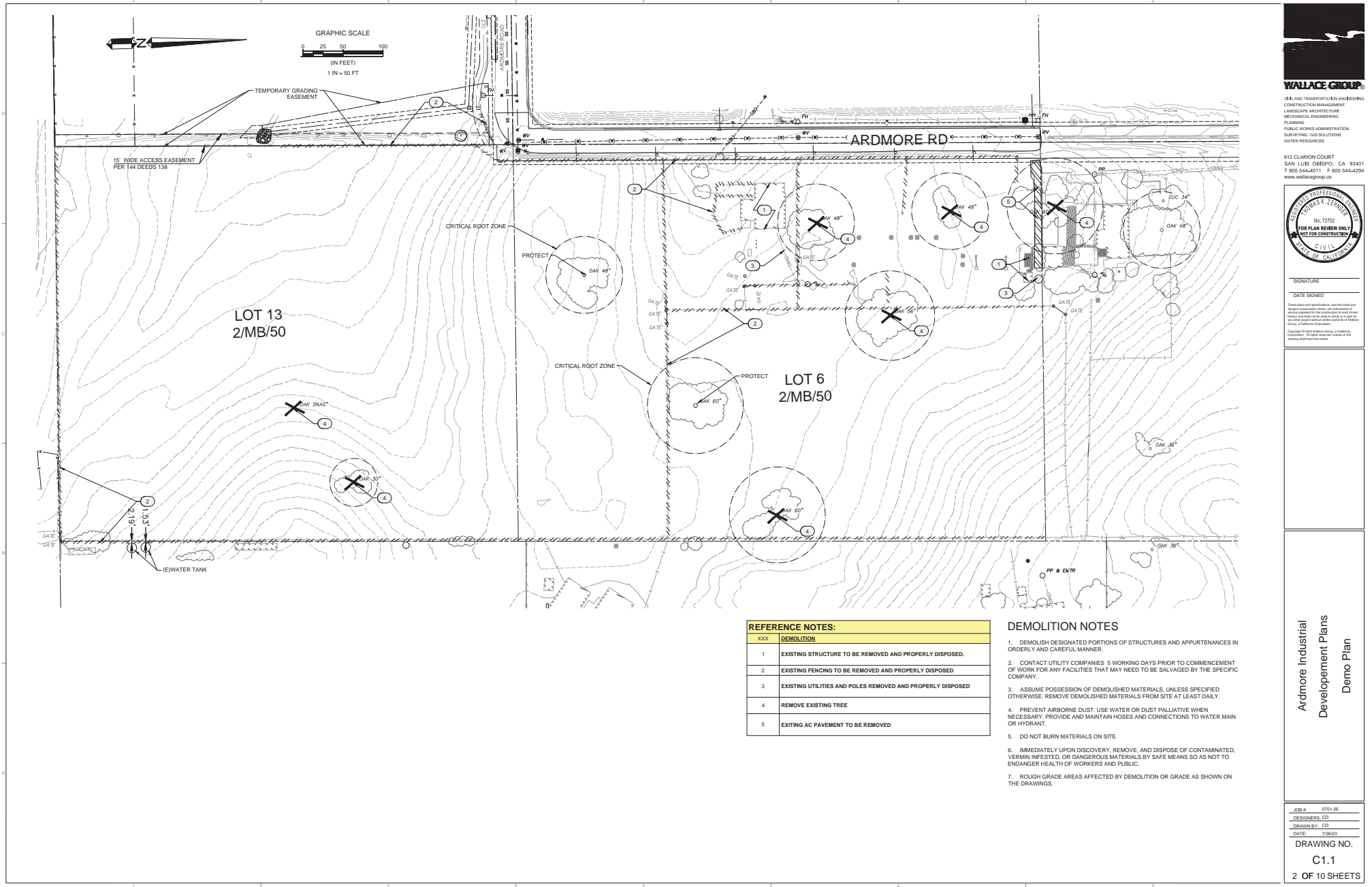
T1.0
OF 1 SHEET

Exhibit C

FILE NAME: T51-05 TOPO DEMO.DWG Plot Date: 7/26/2023

FOR REDUCED PLANS
ORIGINAL SCALE IS IN INCHES

0 1 2 3



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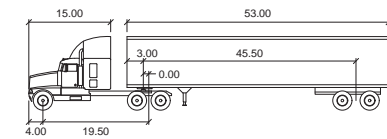
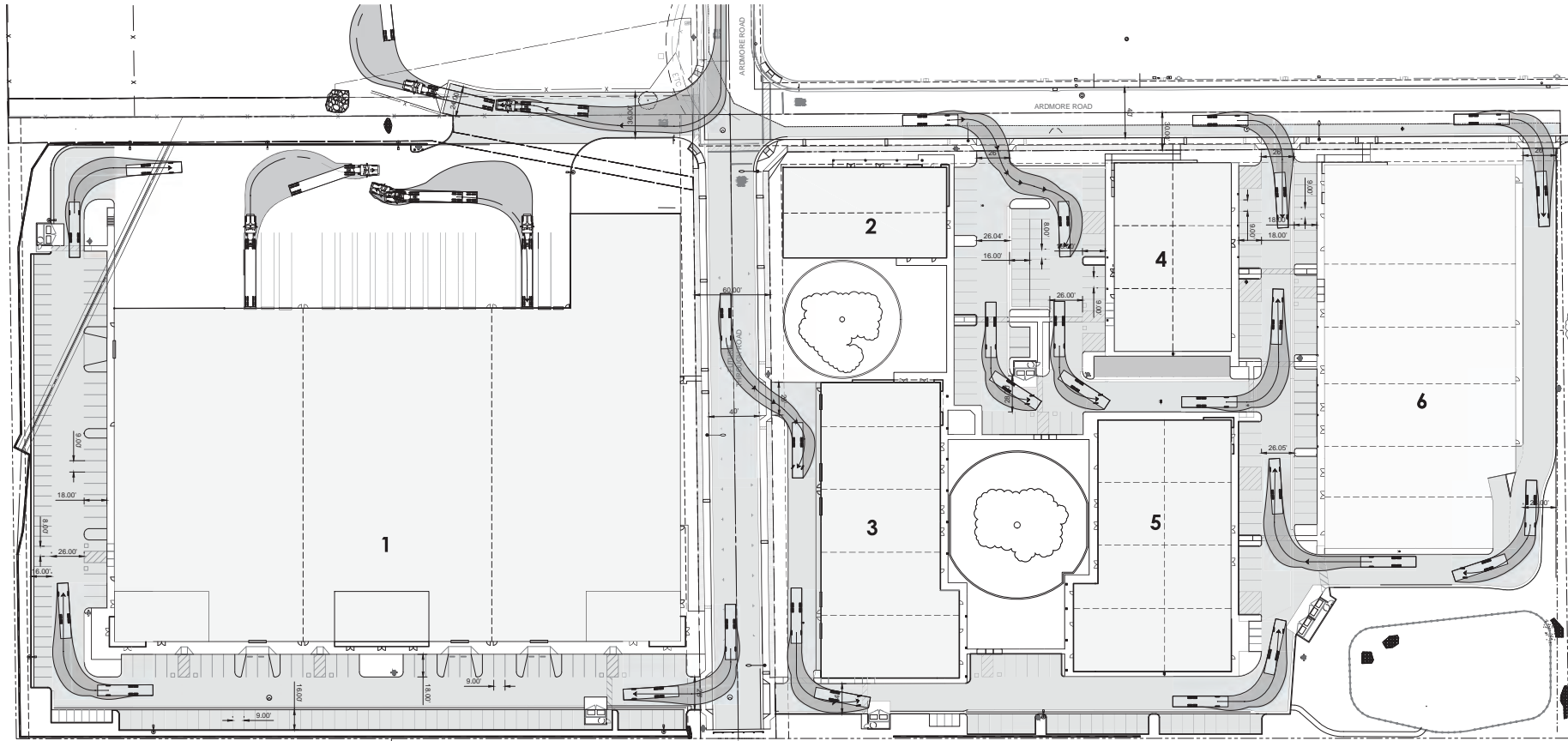
Armore Industrial Development Plans Demo Plan

JOB # 0701-05
DESIGNER: CD
DRAWN BY: CD
DATE: 7/26/23
DRAWING NO. C1.1
2 OF 10 SHEETS

Exhibit C

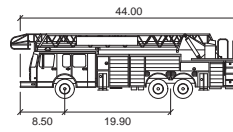
FILE NAME: 751-05 TRUCK.DWG Plot Date: 7/26/2023

FOR REDUCED PLANS
ORIGINAL SCALE IS IN INCHES



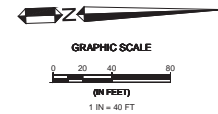
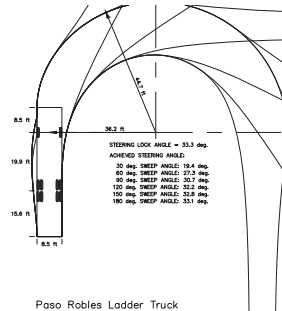
WB-67

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		



Paso Robles Ladder Truck

	feet		
Width	: 8.50		
Track	: 8.50		
Lock to Lock Time	: 6.0		
Steering Angle	: 33.3		



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Ardmore Industrial
Development Plans
Truck Circulation Plan

JOB # 0751-05
DESIGNER: CD
DRAWN BY: CD
DATE: 7/26/23
DRAWING NO.

C2.1
3 OF 10 SHEETS

Exhibit C

FILE NAME: T51-05-DRWG-UTL.DWG Plot Date: 7/26/2023

FOR REDUCED PLANS
ORIGINAL SCALE IS IN INCHES

0 1 2 3

EARTHWORK CALC'S & NOTES

(BASED ON FINISH GRADE)

CUT: 19,803+ CU YD.
FILL: 43,615+ CU YD.
NET FILL: 23,712+ CU YD.

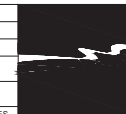
MAX. HEIGHT CUT: 9.5'
MAX HEIGHT FILL: 13.0'
MAX SLOPE: 2:1 (50%)

1. NO SHRINKAGE OR EXPANSION WAS CONSIDERED IN CALCULATION.
2. QUANTITIES ESTIMATED SHOWN IN THIS PLAN ARE TO BE USED FOR PERMIT PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTIMATE QUANTITIES FOR THE PURPOSES OF CONSTRUCTION & BIDDING.
3. TOTAL DISTURBED AREA: 14.3 ± ACRES
4. SLOPES OF FILL SURFACES TO NOT EXCEED (2:1) 2 HORIZONTAL TO 1 VERTICAL.
5. PROTECT ALL EXISTING SURVEY MONUMENTS IN PLACE.
6. SHRINKAGE, CONSOLIDATION AND SUBSIDENCE FACTORS AND LOSSES DUE TO CLEARING AND DEMOLITION OPERATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES ARE BASED ON THE APPROXIMATE DIFFERENCE BETWEEN EXISTING GRADES AND PROPOSED GRADES, AS INDICATED ON THE PLANS, AND SHOULD VARY ACCORDING TO THESE FACTORS AND LOSSES.
7. THE GRADING CONTRACTOR SHALL REVIEW THE SITE AND THE GEOTECHNICAL REPORT(S). SHALL ACCEPT OR CONFIRM EXISTING TOPOGRAPHIC INFORMATION, SHALL PERFORM AN INDEPENDENT EARTHWORK QUANTITY ESTIMATE, AND SHALL BID ACCORDINGLY.

REFERENCE KEYNOTES

KEY	DESCRIPTION
1	ASPHALT CONCRETE
2	CONCRETE DRIVING SURFACE
3	CONCRETE VALLEY GUTTER
4	6" CONCRETE CURB & 24" GUTTER PER CITY OF PASO ROBLES
5	6" CONCRETE CURB PER CITY OF PASO ROBLES
6	UNDER SIDEWALK DRAIN
7	SAWCUT AND MATCH POINT. PROVIDE SMOOTH TRANSITION PER CITY OF PASO ROBLES
8	DRIVEWAY ACCESS PER CITY OF PASO ROBLES
9	LID AREA PER DRAINAGE REPORT
10	PROPOSED UNDER GROUND CHAMBER LOCATION SIZE TO BE DETERMINED PER DRAINAGE REPORT
11	RETAINING WALL

12	GRAVITY TYPE RETAINING WALL
13	TRUCK DOCK REFER TO ARCHITECTURAL PLANS
14	STORM DRAIN INLET
15	CONCRETE CATCH BASIN PER CITY OF PASO ROBLES
16	(2) 36" HDPE STORM DRAIN PIPE
17	CONCRETE SPANDREL PER CITY OF PASO ROBLES
18	TRASH ENCLOSURE
19	FIRE HYDRANT PER CITY OF PASO ROBLES
20	STORM DRAIN PIPE



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Armore Industrial
Development Plans
Grading Plan

JOB # 0701-05
DESIGNER: CD
DRAWN BY: CD
DATE: 7/26/23
DRAWING NO.
C3.1
4 OF 10 SHEETS

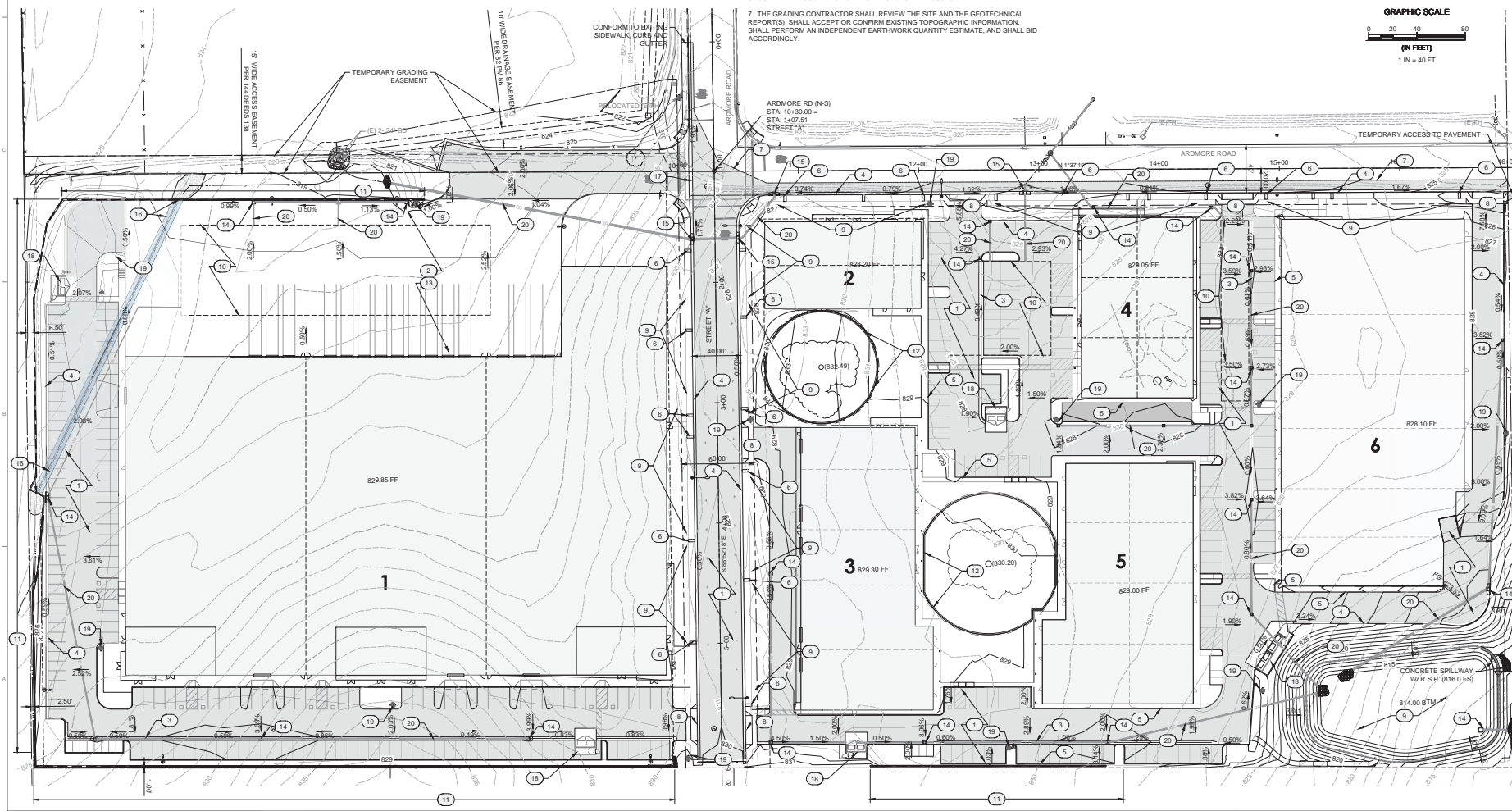
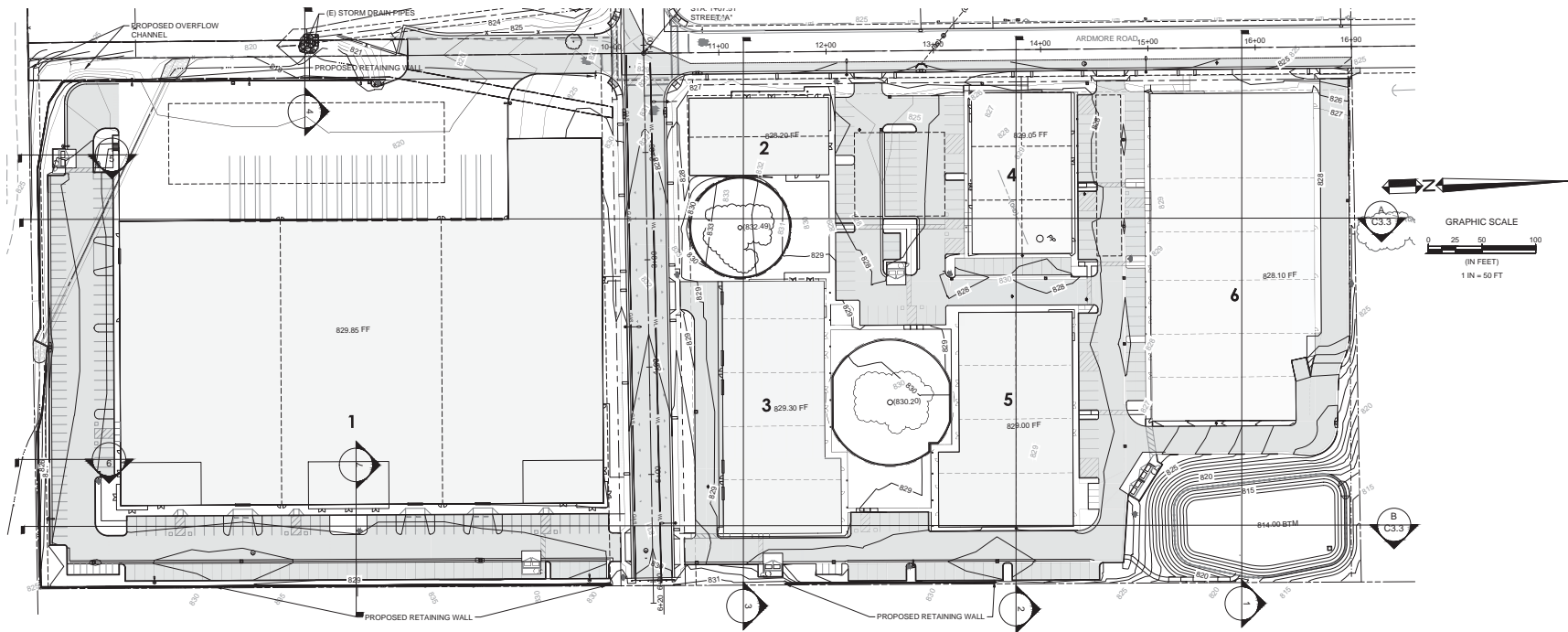


Exhibit C

FILE NAME: T51-05-DRWG-UTL.DWG Plot Date: 7/26/2023

FOR REDUCED PLANS
ORIGINAL SCALE IS IN INCHES

0 1 2 3



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Armcore Industrial
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Site Sections

JOB # 0701-05
DESIGNER: CD
DRAWN BY: CD
DATE: 7/26/23
DRAWING NO. C3.2
5 OF 10 SHEETS

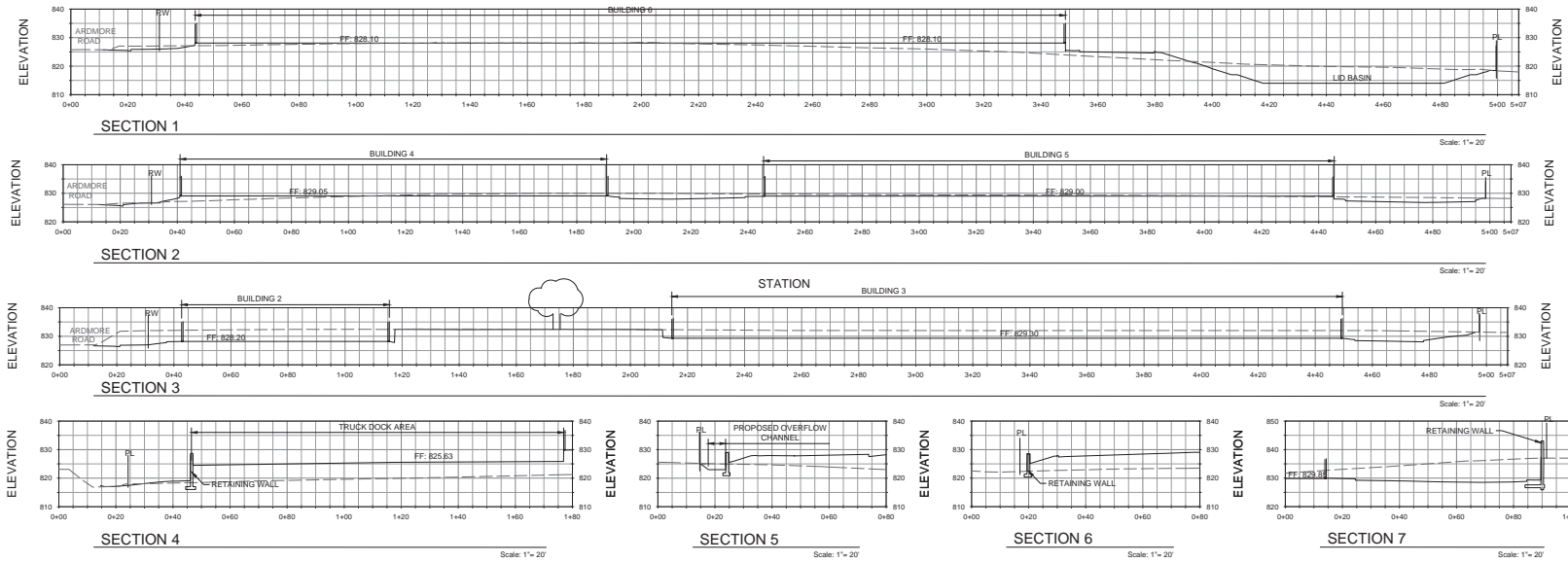
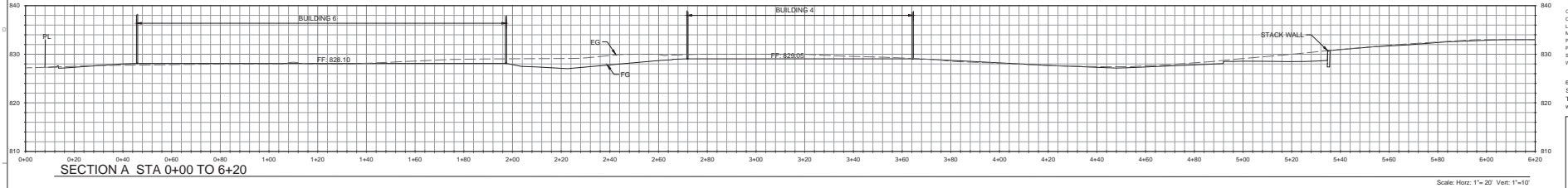


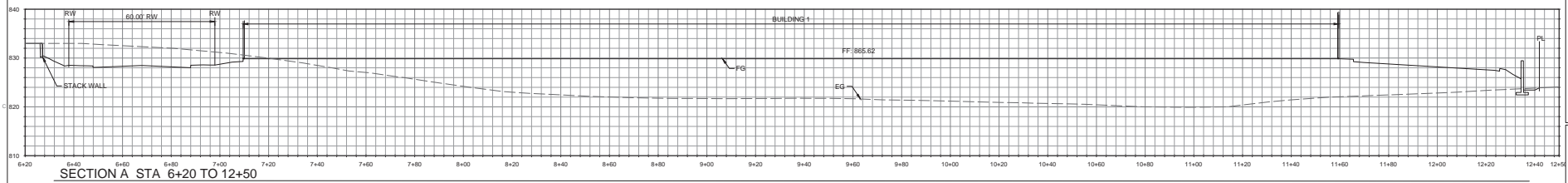
Exhibit C

FILE NAME: T51-05 DRWG-UTL.DWG Plot Date: 7/26/2023

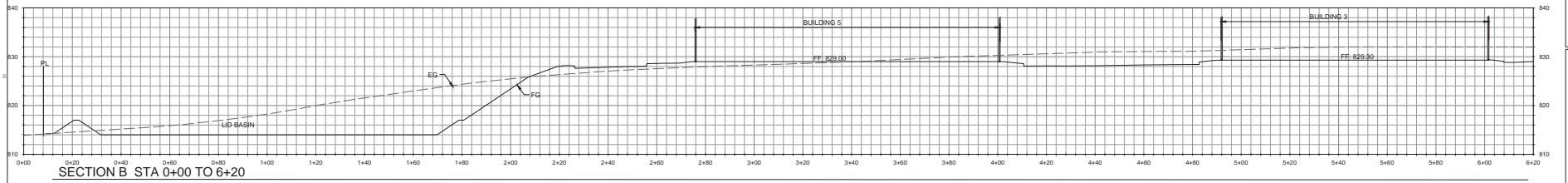
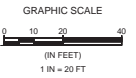
FOR REDUCED PLANS
ORIGINAL SCALE IS IN INCHES



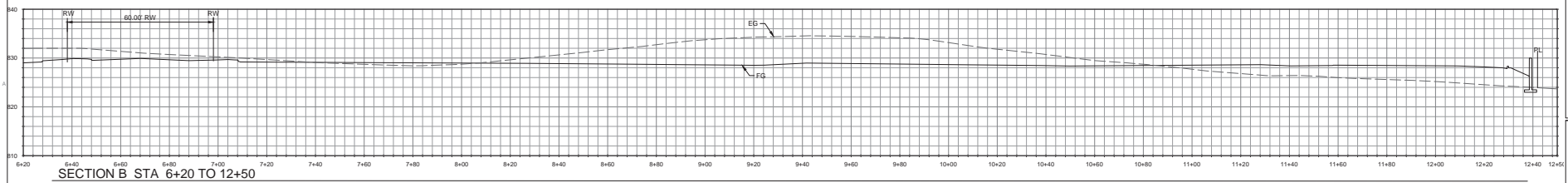
Scale: Horiz: 1"= 20' Vert: 1"=10'



Scale: Horiz: 1"= 20' Vert: 1"=10'



Scale: Horiz: 1"= 20' Vert: 1"=10'



Scale: Horiz: 1"= 20' Vert: 1"=10'



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Ardmore Industrial
Development Plans
Site Sections

JOB # 0751-05
DESIGNER: CD
DRAWN BY: CD
DATE: 7/26/23

DRAWING NO.
C3.3
6 OF 10 SHEETS

Exhibit C

FILE NAME: T51-05 DRWG-UTL.DWG Plot Date: 7/26/2023

FOR REDUCED PLANS
ORIGINAL SCALE IS IN INCHES

0 1 2 3

UTILITY TYPICAL LEGEND

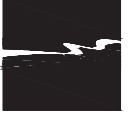
SS	SANITARY SEWER
SD	STORM DRAIN
FIRE	FIRE LINE
WL	WATERLINE
GAS	GAS
CO	SANITARY SEWER CLEAN OUT

NOTE:

- BUILDING OUTLINE SHOWN FOR REFERENCE ONLY.
- UTILITY POINT OF CONNECT AND SIZE SHALL BE VERIFIED WITH FINAL PLUMBING PLAN PRIOR TO PLACEMENT
- THURST BLOCK REQUIRED ON ALL WATER LINES AT ALL BENDS & TEES

REFERENCE KEYNOTES

KEYNOTE	DESCRIPTION
1	8" PVC WATERLINE
2	WATERLINE MANIFOLD
3	WATER METER (DOMESTIC & LANDSCAPE TBD)
4	8" FIRE LINE
5	FIRE HYDRANT
6	8" SANITARY SEWER
7	6" SANITARY SEWER (PRIVATE)
8	SANITARY SEWER MANHOLE
9	SANITARY SEWER CLEAN OUT
10	LID AREA PER DRAINAGE REPORT
11	PROPOSED UNDER GROUND CHAMBER LOCATION SIZE TO BE DETERMINED PER DRAINAGE REPORT
12	STORM DRAIN INLET
13	CONCRETE CATCH BASIN PER CITY OF PASO ROBLES
14	CONCRETE HEAD WALL W/ (2) 36" HDPE STORM DRAIN PIPE
15	STORM DRAIN PIPE
16	STREET LIGHT
17	DOUBLE DETECTOR CHECK ASSEMBLY PER CITY OF PASO ROBLES
18	ARV - AIR RELEASE VALVE PER CITY OF PASO ROBLES



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Ardmore Industrial
Development Plans
Utility Plan

JOB # 0701-05
DESIGNER: CD
DRAWN BY: CD
DATE: 7/26/23
DRAWING NO. C3.4
7 OF 10 SHEETS

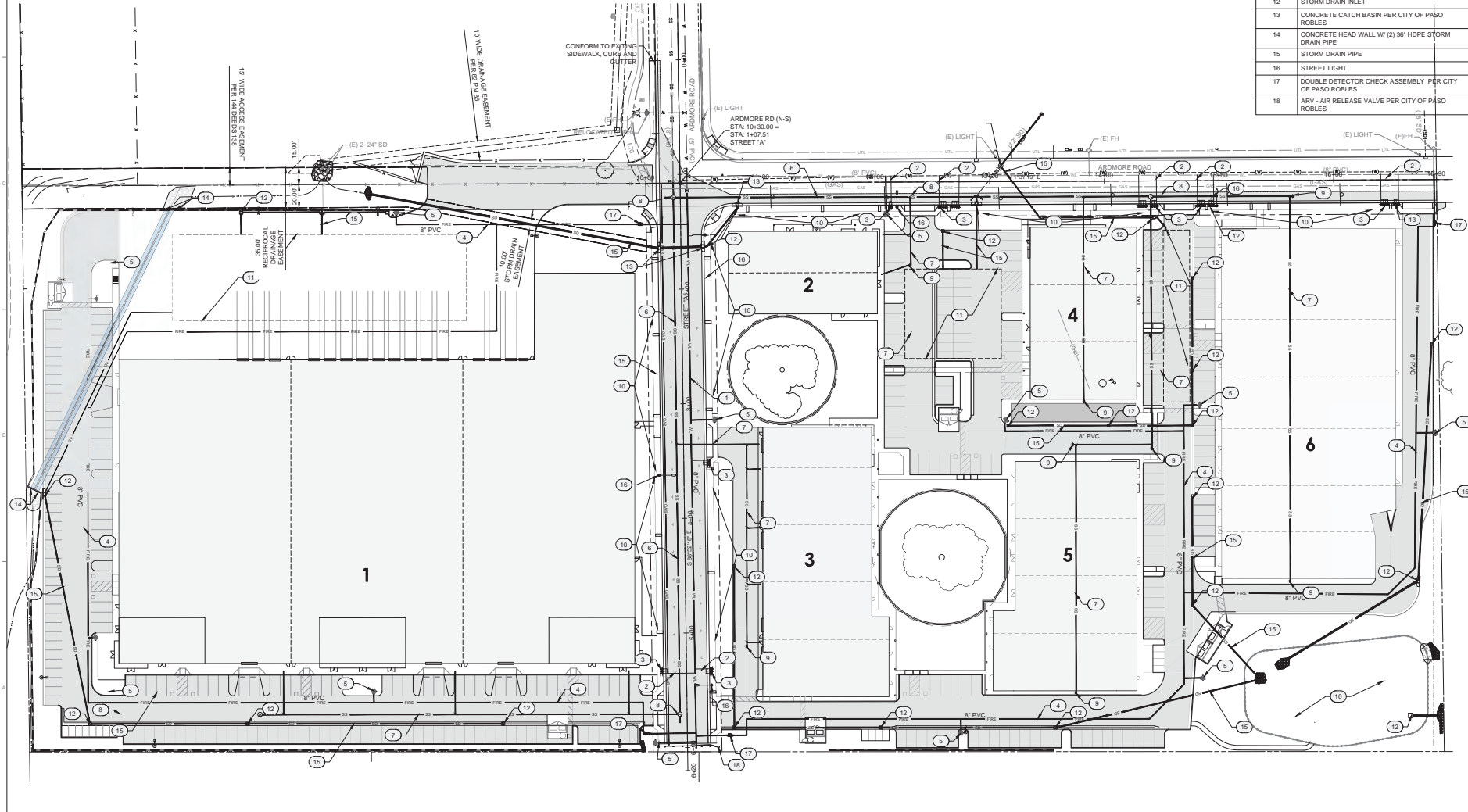
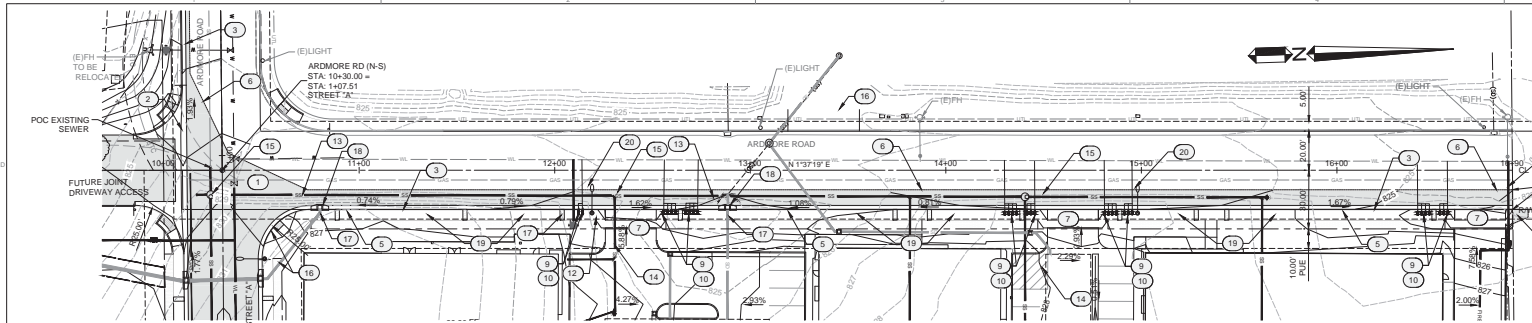


Exhibit C

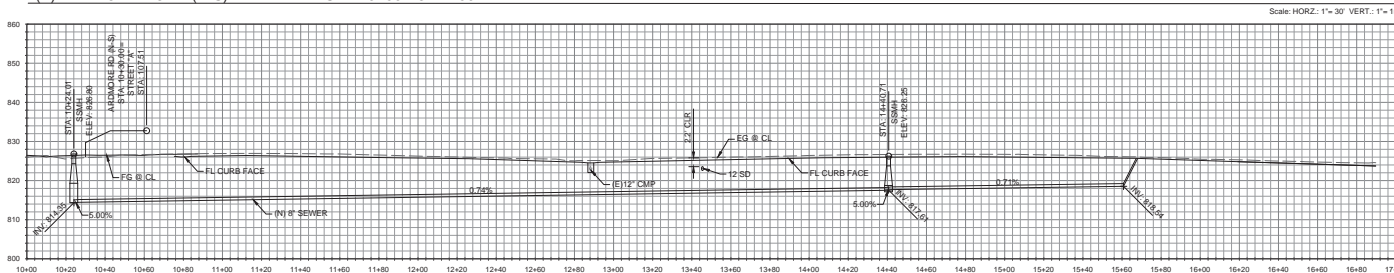
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FOR REDUCED PLANS
ORIGINAL SCALE IS IN INCHES

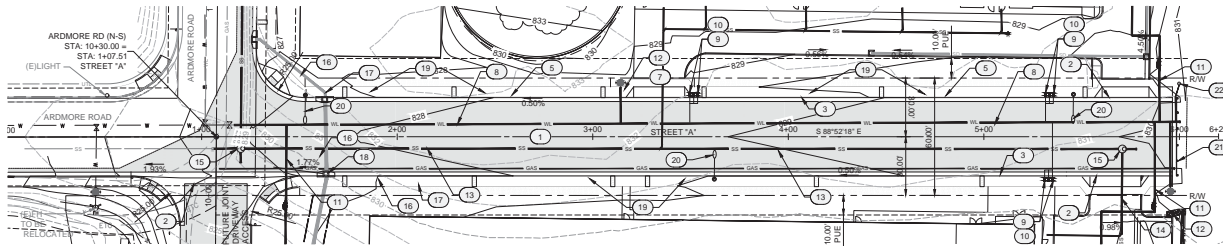
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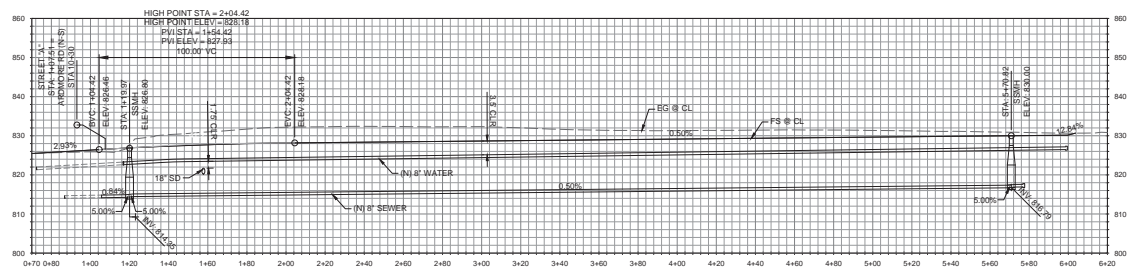
(E) ARDMORE ROAD (N-S) PLAN VIEW STA 10+00 TO 17+00



(E) ARDMORE ROAD (N-S) PROFILE VIEW STA 10+00 TO 17+00



STREET "A" PLAN VIEW STA 0+70 TO 6+04



STREET "A" PROFILE VIEW STA 0+70 TO 6+04

REFERENCE KEYNOTES

KEYNOTE	DESCRIPTION
1	ASPHALT CONCRETE
2	CONCRETE SPANDREL PER CITY OF PASO ROBLES
3	6" CONCRETE CURB & 24" GUTTER PER CITY OF PASO ROBLES
4	6" CONCRETE CURB PER CITY OF PASO ROBLES
5	CURB CUT OPENING
6	SAW-CUT AND MATCH POINT: PROVIDE SMOOTH TRANSITION PER CITY OF PASO ROBLES
7	DRIVEWAY ACCESS PER CITY OF PASO ROBLES
8	6" PVC WATERLINE
9	WATERLINE MANIFOLD
10	WATER METER (DOMESTIC & LANDSCAPE TBD)
11	6" FIRE LINE
12	FIRE HYDRANT
13	8" SANITARY SEWER
14	6" SANITARY SEWER (PRIVATE)
15	SANITARY SEWER MANHOLE PER CITY OF PASO ROBLES
16	STORM DRAIN PIPE
17	STORM DRAIN INLET
18	CONCRETE CATCH BASIN PER CITY OF PASO ROBLES
19	LID AREA PER DRAINAGE REPORT
20	STREET LIGHT PER CITY OF PASO ROBLES
21	WOOD BARRICADE PER CITY OF PASO ROBLES
22	ARV - AIR RELEASE VALVE PER CITY OF PASO ROBLES

UTILITY TYPICAL LEGEND

SS	SANITARY SEWER
SD	STORM DRAIN
FIRE	FIRE LINE
WL	WATERLINE
GAS	GAS
CD	SANITARY SEWER CLEAN OUT



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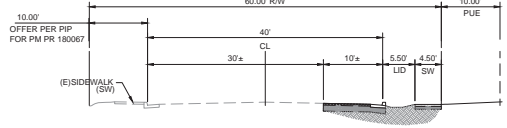
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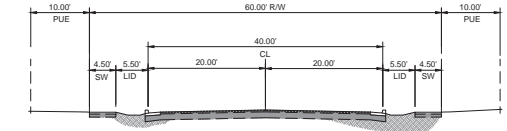
GRAPHIC SCALE

0 15 30 60
(IN FEET)
1 IN = 30 FT



TYPICAL STREET SECTION (ARDMORE)

Scale: NTS



TYPICAL STREET SECTION (FUTURE ROAD A)

Scale: NTS

Ardmore Industrial
Development Plans
Street Plan & Profile

JOB # 0751-05
DESIGNERS: CD
DRAWN BY: CD
DATE: 7/26/23

DRAWING NO.

C3.5

8 OF 10 SHEETS

FILE NAME: 751-05 ECP.DWG

Erosion Control Notes

PRE-CONSTRUCTION

1. THE PROJECT OSP MUST ATTEND THE PRECONSTRUCTION MEETING. THE PROJECT SWPPP MUST BE ON THE SITE AND THE EROSION CONTROL SITE PLAN SHALL BE REVIEWED AT THIS MEETING.
2. PRIOR TO ANY SITE WORK, INSTALL THE CONSTRUCTION SITE-RESOURCE PROTECTION FENCING AS SHOWN ON THE EROSION CONTROL PLAN AND ENSURE EROSION AND SEDIMENTATION CONTROL MATERIALS ARE ON SITE AND READY FOR INSTALLATION.
3. INSTALL ORANGE PLASTIC-WEB FENCING ALONG THE CONSTRUCTION SITE BOUNDARY AND AREAS DESIGNATED ON PLAN PRIOR TO ANY SITE DISTURBANCE. NO CONSTRUCTION UNDER THIS PERMIT IS TO OCCUR OUTSIDE OF THE SITE BOUNDARY.

DURING CONSTRUCTION

1. DURING CONSTRUCTION PROTECTION MEASURES INCLUDE BMPR SHOWN ON THESE PLANS. THE PROJECT SITE SHALL BE ACCESSED ONLY VIA THE PROJECT ENTRANCE OFF OF THE MAIN PAVED PUBLIC ROAD. CONTRACTOR SHALL PREVENT MULTIPLE CONSTRUCTION ACCESS POINTS DIRECTING ACCESS TO A SINGLE POINT THROUGH THE USE OF FENCING OR OTHER OBSTACLES.
2. CONSTRUCTION STAGING AREAS SHALL BE WITHIN THE SITE BOUNDARY AND ONLY AND PER THE DESIGNATED AREA ON THE EROSION CONTROL PLAN. THE CONTRACTOR CAN CHANGE THE LOCATION AFTER REVIEW AND APPROVAL WITH THE OSP TO ENSURE THE NEW LOCATION COMPLIES WITH ALL COUNTY AND STATE CODES. MUST BE 100' FROM SENSITIVE RESOURCES AND DRAINAGE WATER COURSES.
3. ALL PORTABLE TOILETS MUST BE LOCATED MORE THAN 50' FROM ANY STORM DRAIN INLET OR DRAINAGE.

SLOPE PROTECTION: PROTECT ALL GRADED CUT AND FILL SLOPES WITHIN 14 DAYS OF INITIAL GRADING PER PROJECT PLANS AND AS FOLLOWS FOR ANY FIELD CHANGES.

Install fiber rolls on slopes along the contour with a slight downward angle at the end of each row to prevent ponding at the midsection (California State Works, 2005). Turn the ends of each fiber roll upslope to prevent runoff from flowing around the roll.

Install fiber rolls in shallow trenches dig 3 to 5 inches deep for soft, loamy soils and 2 to 3 inches deep for hard, rocky soils. Determine the vertical spacing for slope installations on the basis of the slope gradient and soil type.

FIBER ROLL SLOPE PLACEMENT

1. 1:1 slopes = 10 feet apart
2. 1:1 slopes = 20 feet apart
3. 1:1 slopes = 30 feet apart

4:1 slopes = 40 feet apart

For soft, loamy soils, place the rows closer together. For hard, rocky soils, place the rows farther apart. Stake fiber rolls securely into the ground and orient them perpendicular to the slope. Biodegradable wood stakes or willow cuttings are recommended. Drive the stakes (24-inch stake is recommended for use on soft, loamy soils. An 18-inch stake is recommended for use on hard, rocky soil) through the middle of the fiber roll and deep enough into the ground to anchor the roll in place. About 3 to 5 inches of the stake should stick out above the roll, and the stakes should be spaced 3 to 4 feet apart.

2. STABILIZE ALL GRADED SLOPES AFTER 14 DAYS OF INACTIVITY. VEGETATE SLOPES BY EITHER:
 - a. HYDROSEED AND PROVIDE TEMPORARY IRRIGATION UNTIL ESTABLISHED, OR
 - b. DRY SEED AND COVER WITH WHEED FREE STRAW, TRACKED UP AND DOWN SLOPE TO TACK INTO THE SOIL, USING TRACKED CONSTRUCTION EQUIPMENT OR
 - c. PLACE JUTE NETTING OR EROSION CONTROL BLANKETS ON ALL GRADED SLOPES THAT DO NOT HAVE ESTABLISHED VEGETATION BY SEPTEMBER 1.

POST CONSTRUCTION

1. AT PROJECT COMPLETION, REMOVE ALL TEMPORARY BMP'S NOT INTENDED TO BE LEFT IN PLACE (JUTE AND SEEDING).
2. OBTAIN FINAL STABILIZATION OF ALL DISTURBED AREAS (70% VEGETATIVE COVER).
3. INSTALL ALL DRAINAGE FEATURES IN ACCORDANCE WITH THE PROJECT SWPP.
4. NOTIFY OSP TO REVIEW FOR SITE COMPLETION THEY WILL FILE AND OBTAIN APPROVAL OF A NOTICE OF TERMINATION (NOTI) FOR THE PROJECT SWPPP.
5. CONSTRUCTION OF ALL STORM WATER CONTROL MEASURES SHALL BE COMPLETED PRIOR TO INSPECTION BY COUNTY AND PRIOR TO ENGINEER OF RECORD FINAL SIGN-OFF.

SWPPP

1. A NOTICE OF INTENT HAS BEEN FILED WITH THE STATE OF CALIFORNIA WATER RESOURCES CONTROL BOARD BY THE OWNER SO THAT THIS CONSTRUCTION PROJECT MAY BE COVERED UNDER THE STATE GENERAL PERMIT.
2. THE WQID IDENTIFICATION FOR THE PROJECT STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS ---- TBD ----.
3. THE SWPPP MUST BE KEPT ON-SITE DURING CONSTRUCTION ACTIVITY AND MADE AVAILABLE UPON REQUEST OF A REPRESENTATIVE OF THE REGIONAL WATER QUALITY BOARD AND/OR THE LOCAL AGENCY.
4. A CALIFORNIA STATE CERTIFIED OSP MUST INSPECT THE SITE ACCORDING TO THE STATE ISSUED SWPPP REQUIREMENTS FOR THE DURATION OF THE PROJECT.

Dust Control Notes:

1. Reduce the amount of the disturbed area where possible.
2. Use water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (nonpotable) water should be used whenever possible.
3. All dirt stock-pile areas must be sprayed as needed.
4. Permanent dust control measures identified in the approved project plans should be implemented as soon as possible following completion of any soil disturbing activities.
5. Exposed ground areas that are planned to be reworked at dates greater than one month after initial grading should be sown with a fast-germinating native grass seed and watered until vegetation is established.
6. All disturbed areas not subject to revegetation should be stabilized using approved chemical soil binders, jute netting or other methods approved in advance by the APCD.
7. All roadways should be paved as soon as possible.
8. Vehicle speed for all construction vehicles shall not exceed 15 mph on any unpaved surface at the construction site.
9. All trucks hauling dirt, sand, soil or other loose materials are to be covered or shielded maintain at least two feet of freeboard (minimum vertical distance between top of load and top of trailer) in accordance with CVC Section 23114.
10. All areas disturbed by grading activities shall be hydroseeded with an approved hydroseed mix.
11. Effective soil cover shall be implemented for areas scheduled to be inactive for at least 14 days.

ECP SHOWN ON THIS SHEET IS FOR PHASE 1:

Project Information:
RISK LEVEL: tbd

Legally Responsible Person(s):
Owner: Damien Mavis
Cowling
PO Box 12910
San Luis Obispo, CA 93406

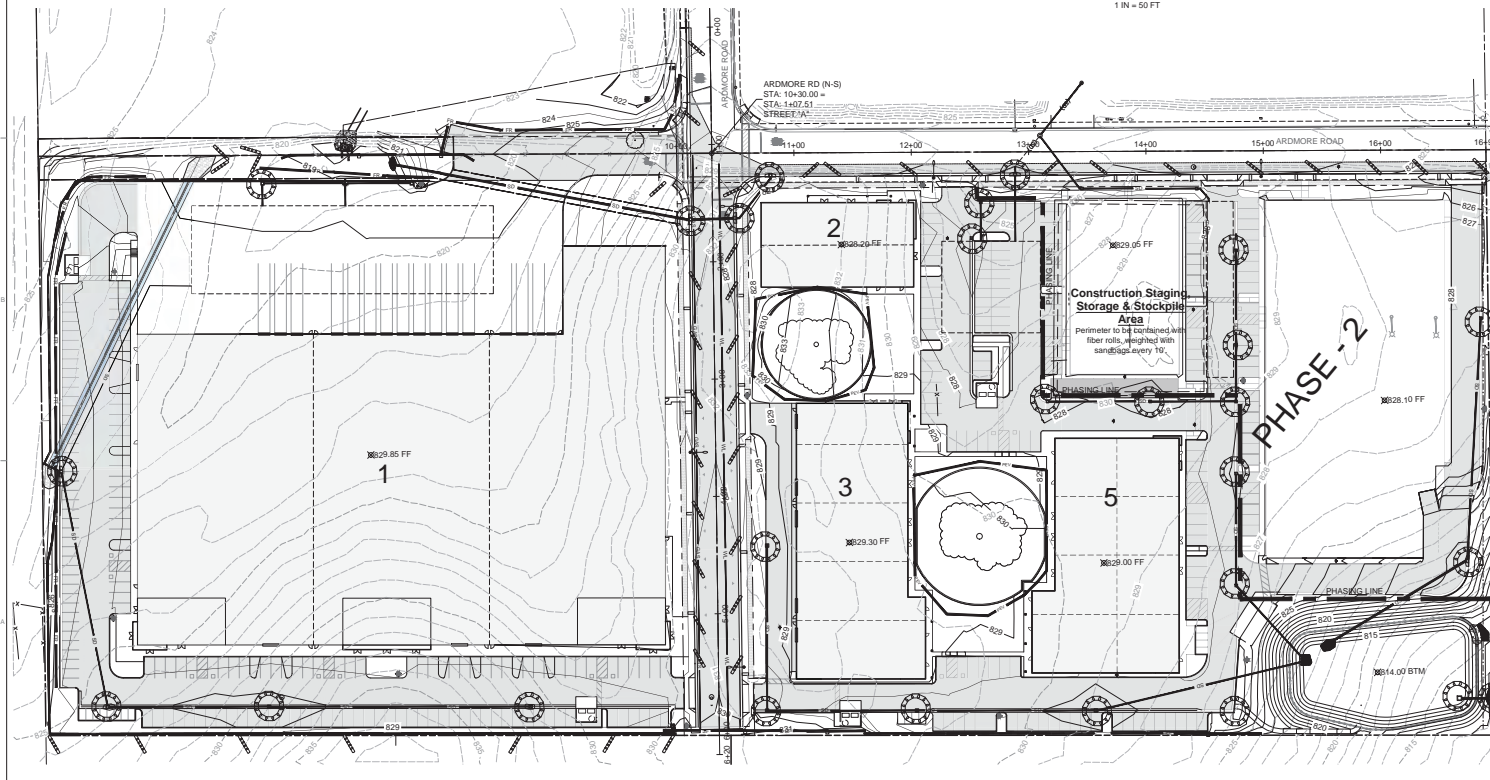
Prepared by:
WALLACE GROUP

QSD/OSP: Ronald (Glen) Rider, QSD/OSP #26736
Phone: 805-544-0111
Email: glenn@wallacegroup.us

WQID No.: tbd Risk Level: tbd



GRAPHIC SCALE



FOR REDUCED PLANS
ORIGINAL SCALE IS IN INCHES



REFERENCE NOTES:

200 WATER POLLUTION AND EROSION CONTROL MEASURES

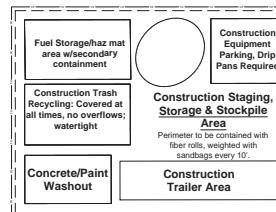
- 201 FIBER ROLLS IN ACCORDANCE WITH CALTRANS STANDARD T56. ALL PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO BEGINNING GRADING ACTIVITIES. FIBER ROLLS SHALL BE MADE OF 100% BIODEGRADABLE MATERIALS.
- 202 INSTALL ORANGE CONSTRUCTION FENCING TO PROTECT EXISTING TREES AND PLANTS IN ACCORDANCE WITH CASQA STANDARD EC-2.
- 203 STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED IN ACCORDANCE WITH CALTRANS STANDARD T56.
- 204 TEMPORARY DRAINAGE INLET PROTECTION TYPE 3A - GRAVEL BAG BERM PER CALTRANS BMP SC-10 AND T62.
- 205 CONCRETE WASHOUT IN ACCORDANCE WITH CALTRANS STANDARD T59.
- 206 SILT FENCING IN ACCORDANCE WITH CALTRANS STANDARD T57.
- 207 PROPOSED STAGING AREA. CONTRACTOR SHALL PROVIDE DRIP PANS, BMPs, AND SECONDARY CONTAINMENT FOR FUELING CONSTRUCTION VEHICLES. SEE STAGING AREA DETAIL THIS SHEET.
- 208 GRAVEL BAG CHECK DAM IN CHEVRON FORMATION IN ACCORDANCE WITH CALTRANS STANDARD T57.
- 209 INSTALL FILTER FABRIC INSERT BELOW EXISTING GRADE FOR D/S IN CONCRETE.

LEGEND:

DESCRIPTION	
STORMDRAIN INLET PROTECTION	
FIBER ROLLS	
TEMPORARY EXCLUSIONARY FENCING FOR ENVIRONMENTALLY SENSITIVE AREAS	
SILT FENCE	
GRAVEL BAG CHECK DAM	

County Erosion Control Notes

1. Erosion control measures for wind, water, material stockpiles, and tracking shall be implemented on all projects at all times and shall include source control, including protection of stockpiles, protection of slopes, protection of all disturbed areas, protection of access, and perimeter containment measures. Erosion control shall be placed prior to the commencement of grading and site disturbance activities unless the Public Works Department determines temporary measures to be unnecessary based upon location, site characteristics or time of year. The intent of erosion control measures shall be to keep all generated sediments from entering a swale, drainage way, watercourse, atmosphere, or migrate onto adjacent properties or the public right-of-way.
2. Site inspections and appropriate maintenance of all erosion control measures/devices shall be conducted and documented at all times during construction and especially prior to, during, and after rain events.
3. The Developer shall be responsible for the placement and maintenance of all erosion control measures/devices as specified by the approved plan until such time that the project is accepted as complete by the Public Works Department or until released from the Conditions of Approval of their General Permit. Erosion control measures/devices may be relocated, deleted or additional measures/devices may be required depending on the actual conditions encountered during construction. Additional erosion control measures/devices shall be placed at the discretion of the Engineer of Work, County Inspector, SWPPP Monitor, or RWQCB Inspector. Guidelines for determining appropriate erosion control devices shall be included in the plans with additional measures/devices noted from the appendix of the Public Improvement Standards.
4. Installation of erosion control measures and devices shall be implemented "year-round".
5. The Contractor, Developer, and Engineer of Work shall be responsible to review the project site prior to October 15 (rainy season) and to coordinate an implementation plan for wet weather erosion control devices. A locally based standby crew for emergency work shall be available at all times during the rainy season (October 15 through April 15). Necessary materials shall be available and stock piled at convenient locations to facilitate rapid construction or maintenance of temporary devices when rain is imminent.
6. In the event of a failure, the Developer and/or his representative shall be responsible for cleanup and all associated costs or damage. In the event that damage occurs within the right-of-way and the County is required to perform cleanup, the owner shall be responsible for County reimbursement of all associated costs or damage.
7. In the event of failure and/or lack of performance by the owner and/or contractor to correct erosion control related problems the Public Works Department may revoke all active permits and recommend that County Code Enforcement provide a written notice or stop work order in accordance with Section 22.52.140 (23.10) of the Land Use Ordinance.
8. Permanent erosion control shall be placed and established with 80% coverage on all disturbed surfaces other than paved or gravel surfaces, prior to final inspection. Permanent erosion control shall be fully established prior to final acceptance. Temporary erosion control measures shall remain in place until permanent measures are established.
9. The County Air Pollution Control District (APCD) may have additional project specific erosion control requirements. The Contractor, Developer, and Engineer of Work shall be responsible for maintaining self-regulation of these requirements.
10. All projects involving site disturbance of one acre or greater shall comply with the requirements of the National Pollutant Discharge Elimination System (NPDES). The Developer shall submit a Notice of Intent (NOI) to comply with the General Permit for Construction Activity with the Regional Water Quality Control Board (RWQCB). The Developer shall provide the County with the Waste Discharge Identification Number (WQID) or with verification that an exemption has been granted by RWQCB. WQID No. _____ Person to contact 24 hours a day in the event there is an erosion control/mismanagement problem (Storm Water Compliance Officer): Name Local Phone No: _____



STAGING AREA DETAIL

NTS



612 CLARION COURT
SAN LUIS OBISPO, CA 93401
805-544-0111 F 805-544-4294
www.wallacegroup.us



SIGNATURE

DATE SIGNED

These plans, specifications, and the design and construction of the project are the responsibility of the Engineer of Record. The Engineer of Record shall be responsible for the design and construction of the project and shall be responsible for the design and construction of the project and shall be responsible for the design and construction of the project.

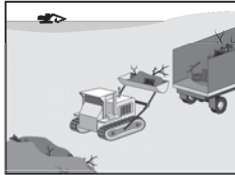
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Ardmore Industrial
Development Plans
Erosion Control Plan

JOB # 0751-05
DESIGNERS: CD
DRAWN BY: CD
DATE: 7/26/23

DRAWING NO.
C4.1
9 OF 10 SHEETS

Solid Waste Management WM-5



Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
<input checked="" type="checkbox"/>	Primary Objective
<input type="checkbox"/>	Secondary Objective

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>

Potential Alternatives	
None	

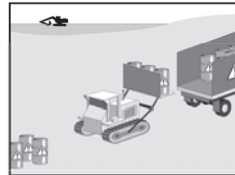
Description and Purpose
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

Suitable Applications
This BMP is suitable for construction sites where the following wastes are generated or stored:

- Solid waste generated from trees and shrubs removed during land clearing, demolition of existing structures (rubble), and building construction
- Packaging materials including wood, paper, and plastic
- Scrap or surplus building materials including scrap metal, rubber, plastic, glass pieces and masonry products
- Domestic wastes including food containers such as beverage cans, coffee cups, paper bags, plastic wrappers, and cigarettes
- Construction wastes including brick, mortar, timber, steel and metal scraps, pipe and electrical cuttings, non-hazardous equipment parts, styrofoam and other materials used to transport and package construction materials
- Highway planting wastes, including vegetative material,



Hazardous Waste Management WM-6



Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
<input checked="" type="checkbox"/>	Primary Objective
<input type="checkbox"/>	Secondary Objective

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>

Potential Alternatives	
None	

Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Suitable Applications
This best management practice (BMP) applies to all construction projects. Hazardous waste management practices are implemented on construction projects that generate waste from the use of:

- Petroleum Products
- Concrete Curing Compounds
- Palliatives
- Septic Wastes
- Stains
- Wood Preservatives
- Asphalt Products
- Pesticides
- Acids
- Paints
- Solvents
- Roofing Tar

Any materials deemed a hazardous waste in California, Title 22, Division 4.5, or listed in 40 CFR Parts 110, 115, 261, or 302



Contaminated Soil Management WM-7



Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
<input checked="" type="checkbox"/>	Primary Objective
<input type="checkbox"/>	Secondary Objective

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>

Potential Alternatives	
None	

Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from contaminated soil and highly acidic or alkaline soils by conducting pre-construction surveys, inspecting excavations regularly, and remedialing contaminated soil promptly.

Suitable Applications
Contaminated soil management is implemented on construction projects in highly urbanized or industrial areas where soil contamination may have occurred due to spills, illicit discharges, aerial deposition, past use and leaks from underground storage tanks.

Limitations
Contaminated soils that cannot be treated onsite must be disposed of offsite by a licensed hazardous waste hauler. The presence of contaminated soil may indicate contaminated waste as well. See NS-9, Dewatering Operations, for more information.

The procedures and practices presented in this BMP are general. The contractor should identify appropriate practices and procedures for the specific contaminants known to exist or discovered onsite.

Implementation
Most owners and developers conduct pre-construction environmental assessments as a matter of routine. Contaminated soils are often identified during project planning and development with known locations identified in the plans, specifications and in the SWPPP. The contractor should review applicable reports and investigate appropriate call-outs in the



Concrete Waste Management WM-8



Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
<input checked="" type="checkbox"/>	Primary Objective
<input type="checkbox"/>	Secondary Objective

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>

Potential Alternatives	
None	

Description and Purpose
Prevent the discharge of pollutants to stormwater from concrete waste by conducting washout onsite or offsite in a designated area, and by employee and subcontractor training.

The General Permit incorporates Numeric Effluent Limits (NEL) and Numeric Action Levels (NAL) for pH (see Section 4 of this handbook to determine your project's risk level and if you are subject to these requirements).

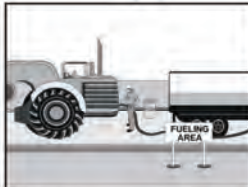
Many types of construction materials, including mortar, concrete, stucco, cement and block and their associated wastes have basic chemical properties that can raise pH levels outside of the permitted range. Additional care should be taken when managing these materials to prevent them from coming into contact with stormwater flows and raising pH to levels outside the accepted range.

Suitable Applications
Concrete waste management procedures and practices are implemented on construction projects where:

- Concrete is used as a construction material or where concrete dust and debris result from demolition activities.
- Sheries containing portland cement concrete (PCC) are generated, such as from saw cutting, curing, grinding, grinding, and hydro-concrete demolition.



Vehicle and Equipment Fueling NS-9



Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
<input checked="" type="checkbox"/>	Primary Objective
<input type="checkbox"/>	Secondary Objective

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>

Potential Alternatives	
None	

Description and Purpose
Vehicle equipment fueling procedures and practices are designed to prevent fuel spills and leaks, and reduce or eliminate contamination of stormwater. This can be accomplished by using offsite facilities, fueling in designated areas only, enclosing or covering stored fuel, implementing spill controls, and training employees and subcontractors in proper fueling procedures.

Suitable Applications
These procedures are suitable on all construction sites where vehicle and equipment fueling takes place.

Limitations
Onsite vehicle and equipment fueling should only be used where it is impractical to send vehicles and equipment offsite for fueling. Sending vehicles and equipment offsite should be done in conjunction with TC-1, Stabilized Construction Entrance/Exit.

- Use offsite fueling stations as much as possible. These businesses are better equipped to handle fuel and spills properly. Performing this work offsite can also be economical by eliminating the need for a separate fueling area at a site.
- Discourage "topping-off" of fuel tanks.



Vehicle & Equipment Maintenance NS-10



Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
<input checked="" type="checkbox"/>	Primary Objective
<input type="checkbox"/>	Secondary Objective

Targeted Constituents	
Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>

Potential Alternatives	
None	

Description and Purpose
Prevent or reduce the contamination of stormwater resulting from vehicle and equipment maintenance by routing a "dry and clean site". The best option would be to perform maintenance activities at an offsite facility. If this option is not available then work should be performed in designated areas only, while providing cover for materials stored outside, checking for leaks and spills, and containing and cleaning up spills immediately. Employees and subcontractors must be trained in proper procedures.

Suitable Applications
These procedures are suitable on all construction projects where an onsite yard area is necessary for storage and maintenance of heavy equipment and vehicles.

Limitations
Onsite vehicle and equipment maintenance should only be used where it is impractical to send vehicles and equipment offsite for maintenance and repair. Sending vehicles/equipment offsite should be done in conjunction with TC-1, Stabilized Construction Entrance/Exit.

Onsite vehicle or equipment maintenance is a potentially significant source of stormwater pollution. Activities that can contaminate stormwater include engine repair and service, cleaning or replacement of fluids, and outdoor equipment storage and parking (engine fluid leaks). For further information on vehicle or equipment servicing, see NS-9, Vehicle and Equipment Cleaning, and NS-9, Vehicle and



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WATER RESOURCES

612 CLARION COURT
SAN LUIS OBISPO, CA 93401
T 805 544-4011 F 805 544-4254
www.wallacegroup.us



SIGNATURE
DATE SIGNED

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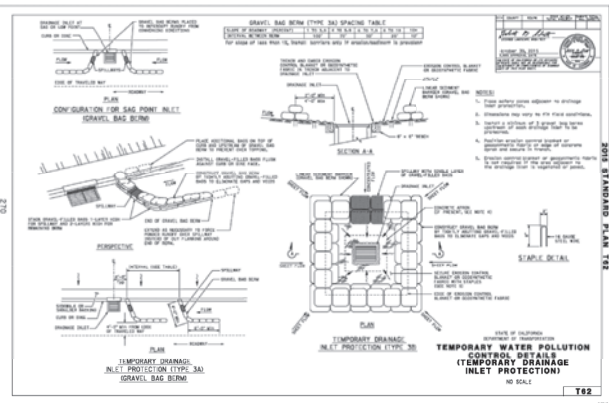
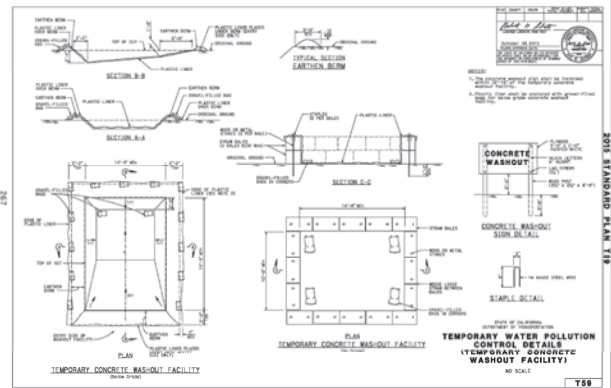
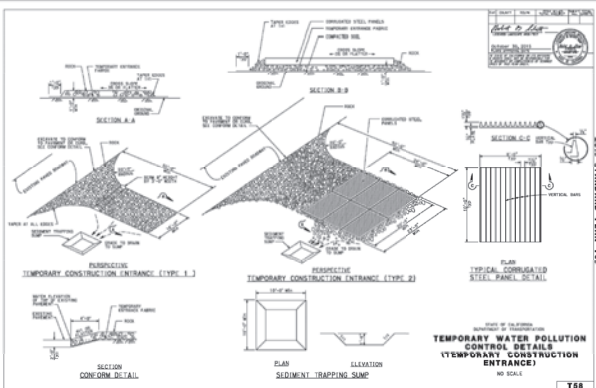
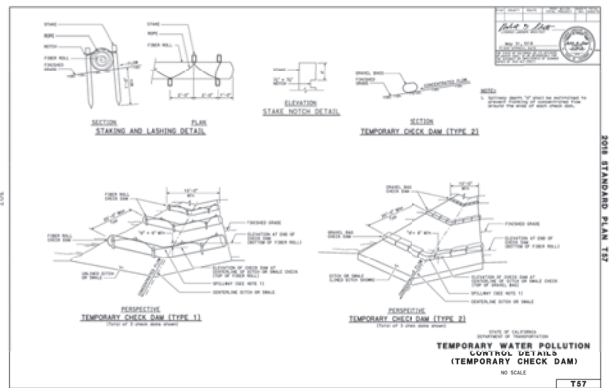
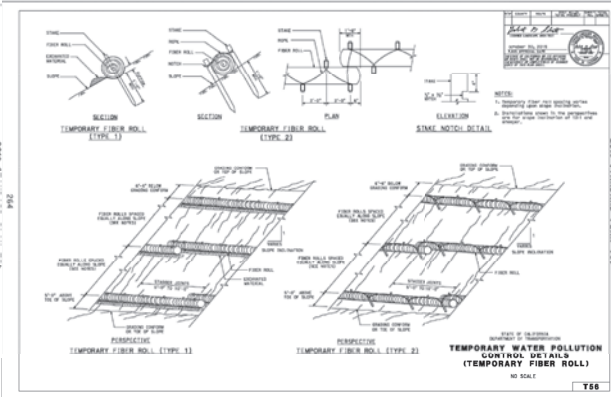
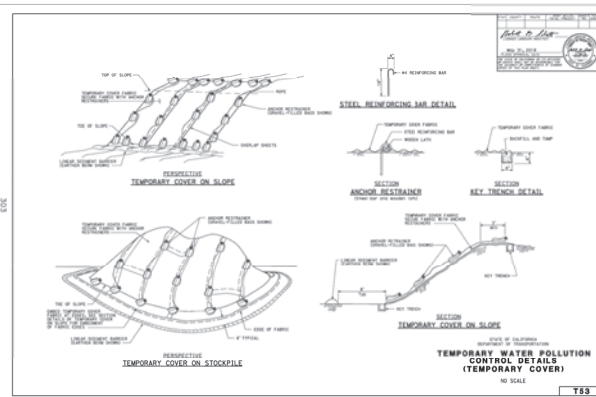
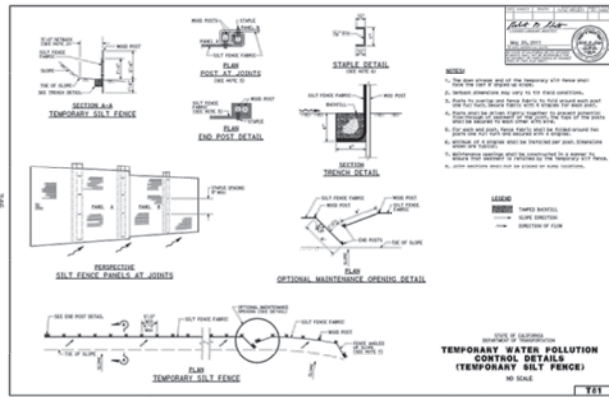
Ardmore Industrial
Development Plans
Erosion Control Details

JOB # 0751-05
DESIGNERS: CD
DRAWN BY: CD
DATE: 7/26/03
DRAWING NO.
C4.3
11 OF 10 SHEETS

FILE NAME: 751-05 ECP.DWG

FOR REDUCED PLANS
ORIGINAL SCALE IS IN INCHES

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7805 544-0111 / 7805 544-4254
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SIGNATURE

DATE SIGNED

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Armore Industrial
Development Plans
Erosion Control Details

JOB # 0751-05
DESIGNERS CD
DRAWN BY CD
DATE 7/26/03
DRAWING NO.

C4.4
12 OF 10 SHEETS