



CITY OF EL PASO DE ROBLES
" The Pass of the Oaks"
Planning Commission Agenda

Tuesday, April 8, 2025, 6:30 PM
Council Chamber - Library/Conference Center
1000 Spring Street
Paso Robles, CA 93446

Commissioners Present:

Chairperson Covarrubias
Commissioner Christensen
Commissioner Marlow
Commissioner Neel
Commissioner Koegler
Commissioner Connally
Commissioner Roden

Residents can livestream the meeting at www.prcity.com/youtube, and call **(805)865-7276** to provide public comment via phone. The phone line will open just prior to the start of the meeting and remain open throughout the meeting to ensure the opportunity to comment on each item heard by the Council, other than brief reports and announcements by staff or the Council.

Written public comments can be submitted via email to planning@prcity.com **prior to 12:00 noon on the day of the meeting** to be posted as an addendum to the Agenda. If submitting written comments in advance of the meeting, please note the agenda item by number or name. City Council meetings will be live-streamed during the meeting and also available to play later on YouTube by accessing the following link: www.prcity.com/youtube. Any writing or document pertaining to an open session item on this agenda which is distributed to a majority of the Planning Commission after the posting of this agenda will be available for public inspection at the time the subject writing or document is distributed. The writing or document will be available for public review in the City Clerk's Office, 1000 Spring Street, Paso Robles, CA, during normal business hours, and may be posted on the City's web site at www.prcity.com/meetings.

AMERICANS WITH DISABILITIES ACT Any individual, who because of a disability needs special assistance to attend or participate in this meeting, may request assistance by contacting the City Clerk's Office (805) 237-3960. Whenever possible, requests should be made four (4) working days in advance of the meeting.

Pages

- A. CALL TO ORDER
- B. PLEDGE OF ALLEGIANCE
- C. ROLL CALL
- D. STAFF INTRODUCTIONS
 - 1. STAFF PRESENT

E. GENERAL PUBLIC COMMENTS REGARDING MATTERS NOT ON THE AGENDA

F. AGENDA ITEMS PROPOSED TO BE TABLED OR RE-SCHEDULED

G. PUBLIC HEARINGS

1. Olsen-South Chandler Specific Plan – Planning Area 2 - Vesting Tentative Tract Map 3227 and Planned Development 25-01 (P24-0038)

4

Olsen-South Chandler Specific Plan – Planning Area 2 - Vesting Tentative Tract Map 3227 and Planned Development 25-01 (P24-0038), which is a request to establish a 126-unit condominium map within Planning Area 2 of the Olsen-South Chandler Ranch Specific

Address: Southeast corner of Sherwood Road and Fontana Road - APN: 025-382-002

Applicant: Olsen Ranch 212, LLC

CEQA Determination: In compliance with the California Environmental Quality Act (CEQA), an initial study and environmental impact report (SCH 2019011065) were prepared for the project and were circulated between 10/17/2019 and 12/2/2019. Staff recommends the Planning Commission find the proposed Vesting Tentative Tract Map does not require additional review under CEQA pursuant to Public Resources Code section 21166 and CEQA Guidelines section 15162 and 15182 (no subsequent or supplemental EIR is required, because no “substantial changes” to the project or to the circumstances under which the project was undertaken are proposed, and there are no “new significant environmental effects” or a “substantial increase in the severity of previously identified significant effects” under the existing EIR).

Recommended:

Approve Draft Resolutions A, B, and C, approving the project, subject to site specific conditions of approval.

H. DISCUSSION ITEMS

I. CONSENT CALENDAR

- | | |
|--|------------|
| 1. February 24, 2025 Development Review Committee Minutes | 111 |
| 2. March 3, 2025 Development Review Committee Minutes | 114 |
| 3. March 10, 2025 Development Review Committee Minutes | 116 |
| 4. March 17, 2025 Development Review Committee Minutes | 118 |
| 5. March 24, 2025 Development Review Committee Minutes | 120 |

J. OTHER REPORTS

- | | |
|--|------------|
| 1. PASO ROBLES STREET STREETScape AD HOC COMMITTEE REPORT | |
| 2. HOUSING CONSTRAINTS AND OPPORTUNITIES COMMITTEE (HCOC) / ZONING CODE UPDATE REPORT | |
| 3. DEVELOPMENT REVIEW COMMITTEE ROTATION SCHEDULE | 121 |

K. PLANNING COMMISSIONERS' COMMENTS

L. STAFF COMMENTS

M. ADJOURNMENT

Recommended:

Meeting was adjourned at _____



Planning Commission Agenda Report

From: Darcy Delgado, Associate Planner

Subject: Olsen-South Chandler Specific Plan – Planning Area 2 - Vesting Tentative Tract Map 3227 and Planned Development 25-01 (P24-0038), which is a request to establish a 126-unit condominium map within Planning Area 2 of the Olsen-South Chandler Ranch Specific

CEQA: In compliance with the California Environmental Quality Act (CEQA), an initial study and environmental impact report (SCH 2019011065) were prepared for the project and were circulated between 10/17/2019 and 12/2/2019. Staff recommends the Planning Commission find the proposed Vesting Tentative Tract Map does not require additional review under CEQA pursuant to Public Resources Code section 21166 and CEQA Guidelines section 15162 and 15182 (no subsequent or supplemental EIR is required, because no “substantial changes” to the project or to the circumstances under which the project was undertaken are proposed, and there are no “new significant environmental effects” or a “substantial increase in the severity of previously identified significant effects” under the existing EIR).

Location: Southeast corner of Sherwood Road and Fontana Road - APN: 025-382-002

Date: April 8, 2025

Facts

1. The Olsen-South Chandler Specific Plan (“SP”) was approved by the City Council on February 20, 2020, the SP document can be found [here](#). The intent of the SP is to serve as a comprehensive guide to development of the 358-acre, 1,293 residential unit specific plan, located on the southeast side of the City, adjacent to the unincorporated San Luis Obispo County land (Attachment 1, Vicinity Map).

Figure 1 – Olsen-South Chandler Specific Plan – Vicinity Map



2. As part of the approvals of the SP, Vesting Tentative Tract Map (“VTTM”) 3153 was approved, subdividing the various planning areas to accommodate the 1,293 residential units. Planning Area 2 (“PA-2”) was included in VTTM 3153, which approved 108-condominium units spread out over 4 lots.
3. Olsen Ranch 212, LLC (the “Applicant”) has submitted VTTM 3227 proposing a new tentative map for PA-2 that would accommodate a total of 126-condominium units for PA-2, which is an increase of 18 units.
4. In conjunction with the tract map, the Applicant has submitted Planned Development 25-01 (“PD 25-01”) which provides the overall site planning for the tract, architecture, colors/materials palette, and conceptual landscaping, which are found to be consistent with the development standards that were originally approved with the SP. See Exhibits C-K.2 of Draft Resolution B of Attachment 3.
5. In order to increase the density with this application, VTTM 3227 also includes the transfer of 18 units from Planning Area 10 (“Our Town” or “PA 10”). SP Policy 2.1.6. allows density transfers from one planning to another, as long as the overall unit count of 1,293 units is not exceeded for the entire specific plan area. This density transfer is reflected on the updated draft Density Allocation Table in Figure 2 below.

Figure 2 – Olsen-South Chandler Specific Plan –Updated Density Allocation Table

Olsen – South Chandler Specific Plan								
Table 2.1.B. Density Allocation Table								
Policy 2.1.5. Density Transfer Tracking Table								
Planning Area	Product	2/20/2020 Specific Plan Allocation Resolution CC20-026			4/26/2022 Density Transfer Resolution PC22-010		4/8/2025 Density Transfer Resolution PC25-xxx	
		Units	Gross AC	Gross Density	PA-10 to PA-8	New Total	PA-10 to PA-2	New Total
PA-1	Apartments	60	2.9	20.5		60		60
PA-2	Townhomes	108	12.9	8.4		108	18	126
PA-3	40x80s	48	10.5	4.6		48		48
PA-4	SFD	86	31.4	2.7		86		86
PA-5	SFD	87	24.8	3.5		87		87
PA-8*	MDR	13	1.1	11.8	13	26		26
PA-9**	MDR	119	11.8	10.1		119		119
PA-10A	Our Town SFD	121	14.5	8.3	-13	108	-18	90
PA-10B	MDR	12	2.1	5.7		12		12
PA-11	40x80s	55	13.2	4.1		55		55
PA-12	40x80s	42	8.5	5		42		42
PA-13	Motorcourts	129	16.4	7.9		129		129
PA-15	SFD	55	14.7	3.8		55		55
PA-17	SFD	53	13.6	3.9		53		53
PA-18	SFD	43	10.1	4.3		43		43
PA-19	SFD	108	45	2.4		108		108
PA-20	SFD	59	16.3	3.6		59		59
PA-23	SFD	95	29.5	3.2		95		95
Totals		1293	279.3	4.6		1293		1293

*PA-8 Neighborhood Commercial Overlay District. Maximum Non-Residential Uses not to exceed 9,800SF at 0.25 FAR. See the Commercial Agrarian Design Guidelines for additional standards.
**PA-9 School Site Overlay District.

6. The Development Review Committee (“DRC”) reviewed this project at their meeting on January 27, 2025. At the meeting, the DRC asked for additional information to be provided to the Planning Commission to help determine whether additional amenities were needed such as more open space, recreational amenities, or a tot lot, due to the increase in density for this project. The applicant has included an exhibit (See Attachment 5) showing the various amenities proposed by the SP, broken down by what is available within a 5 minute or less and 10 minute or less walk from PA-2. The applicant is not proposing any additional amenities beyond what was required by the SP.
7. Final Environmental Impact Report (“EIR”) was previously prepared for the Olsen-South Chandler Specific Plan. The proposed Vesting Tentative Tract Map does not require additional review under CEQA pursuant to Public Resources Code section 21166 and CEQA Guidelines section 15162 and

15182 (no subsequent or supplemental EIR is required, because no “substantial changes” to the project or to the circumstances under which the project was undertaken are proposed, and there are no “new significant environmental effects” or a “substantial increase in the severity of previously identified significant effects” under the existing EIR).

Options

After consideration of any public testimony, the Planning Commission should consider the following options:

1. Approve the project by adopting:
 - a. Draft Resolution A (Attachment 2), approving Vesting Tentative Tract Map 3227, subject to site specific conditions of approval.
 - b. Draft Resolution B (Attachment 3), approving PD 25-01, subject to site specific conditions of approval.
 - c. Draft Resolution C (Attachment 4), approving a density transfer of 18 units from PA-10 to PA-2.
2. Approve the project with modifications by amending and adopting the draft Resolutions.
3. Refer the project back to the Development Review Committee or Staff for additional analysis.
4. Deny the project by adopting findings of denial.

Analysis and Conclusions

The project is a request to subdivide Planning Area 2 within the Olsen-South Chandler Ranch Specific Plan to establish a 126-unit condominium map. The project request represents an increase of 18 units from the 108-condominium map that was previously established via VTTM 3153 when the original specific plan was approved back in 2020. The increased density is possible as the Specific Plan allows density transfers between planning areas, which is discussed more in the following section.

Olsen-South Chandler Ranch Specific Plan Consistency

As part of the original approval of the Olsen-South Chandler Ranch Specific Plan, Planning Area 2 was planned for townhomes, representing a medium density type of development. Specific Plan Policy 2.1.6. allows density transfers from one planning area to another, as long as the overall unit count of 1,293 units is not exceeded for the entire Specific Plan area. The applicant has negotiated a transfer of 18 density units from the owners of PA-10, which will be transferred to PA-2. This transfer of units is reflected in the table below. The project meets the requirements of the Specific Plan as the overall density will remain unchanged at 1,293 units.

The project’s architecture, site planning, and landscaping are all consistent with the Specific Plan. With regard to the architecture, the townhome’s feature elements of the modern farmhouse style using variations of vertical and horizontal board and batten siding, composition shingle roof with accent standing seam metal, exposed truss tails, wood beams and outlookers, and the use of white and saturated earth tones.

Figure 3 – Street Scene Elevation



General Plan Consistency

The project is within the Residential Multifamily (“RMF”) land use designation with a Specific Plan sub land use. According to the General Plan Land Use Element, the RMF land use designation is intended to “provide the highest permissible density, located where such density can be accommodated through sensitive site and building design”, “provide housing in close proximity to schools, shopping, and other services, including public transit”, and “provide a transition zone between single-family residential neighborhoods and higher-intensity land uses”.

The proposed use is a residential townhome project which is an allowed use at this location. The project is proposing an increase in density from 8.4 units per gross acre to approximately 11.2 units per gross acre, though because the SP allows for density transfers, this increase remains consistent with the General Plan since it remains as a multifamily level project. Further, the project will assist the City in meeting its Regional Housing Needs Allocation pursuant to its adopted Housing Element, and will create contextually appropriate homes for a variety of home-buyers pursuant to the Olsen – South Chandler Ranch Specific Plan.

Key Changes from VTTM 3153 to VTTM 3227

Aside from minor changes to the map’s boundaries along the Sherwood Road right-of-way, the main change from VTTM 3153 to VTTM 3227 consists of removing a portion of interior Road HH, and reconfiguring the site planning to provide the additional 18 townhomes, as shown in Figures 4 and 5 below.

Figure 4 – VTTM 3153

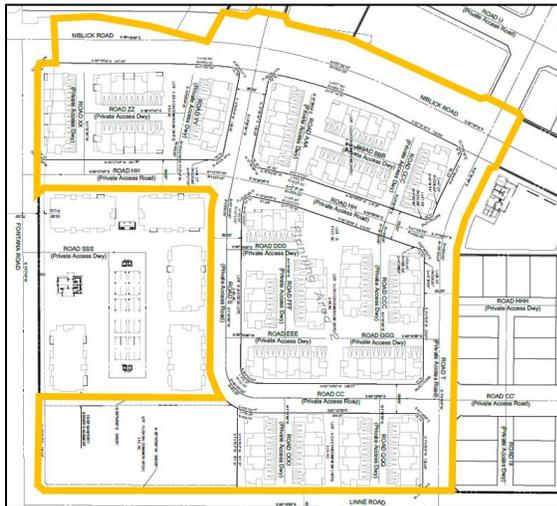
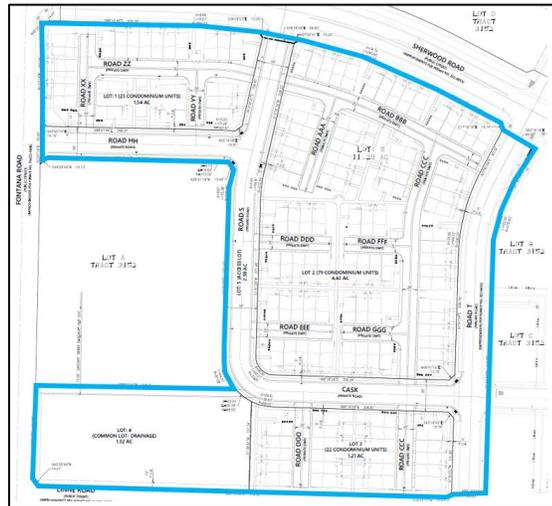


Figure 5 – VTTM 3227



One of the more substantive changes to this project as a result of the increase in density was the requirement for the project to shift from individual waste/recycling bins for each townhome to providing trash enclosures throughout the development. Additionally, parking requirements have increased and the project is now required to provide a total of 252 covered parking spaces and 26 guest parking spaces. The project meets both criteria, but was able to provide an additional 12 guest parking stalls for a total of 290 parking spaces. All of the guest parking is provided on the main streets, which is allowed under the SP when it is within 200-feet of the project site.

Development Review Committee Discussion

The project was reviewed by the Development Review Committee (DRC) on January 27, 2025. Overall, the DRC had concerns regarding whether additional amenities were needed for this project site, due to the increase in density. DRC members discussed whether more open space, recreational amenities, and if a tot lot should be included into the project site planning. DRC members asked the applicant to provide more information for the Planning Commission to see how the project area fits into the Specific Plan overall, and the Specific Plan's amenities that serve multiple planning areas. Based on this feedback, the applicant has provided an exhibit (See Attachment 5, Vinedo Circulation Plan, Multimodal Network Map) showing the various amenities within walking distance to PA-2, which includes a farmstand, poolhouse, Royal Oaks Park, and Turtle Creek Park. The applicant is not proposing any additional amenities beyond what was required by the Specific Plan.

Condominium Maintenance

The condominium map will result in the need for common areas to be maintained. As part of the project's approval, a future Special Benefit Area ("SBA") will need to be established to maintain common roofs, trash enclosures, trash collection, landscape maintenance, shared driveways, sidewalks, and other similar maintenance items. Draft Resolution A contains the condition of approval for this entity to be established prior to the map being finalized.

Street Names

The new tentative tract map will require street names to be established. Paso Robles Municipal Code Section 22.20.080 explains that the Planning Commission is the review authority to approve new street names. In accordance with the City's criteria for screening proposed street names, both the City of Paso Robles Emergency Services and GIS Departments were contacted to review the following list of names, which were accepted by both departments and are proposed for VTTM 3227:

- Mylah
- Lucy
- Rhett
- Brynn
- Brittini
- Jaden
- Summer
- Brose
- Shelly
- Sweet Shade
- Brillante
- Manzano
- Cougar

Fiscal Impact

There are provisions in the Development Agreement that establish the basis for forming community facilities districts (CFDs) and impose special taxes to offset the cost of infrastructure maintenance and general City services. When the CFD special taxes are added to General Fund revenues, the overall project impact to the City of the Project is fiscal neutrality.

CEQA

A Final Environmental Impact Report (EIR) was previously prepared for the Olsen-South Chandler Specific Plan. The proposed Vesting Tentative Tract Map does not require additional review under CEQA pursuant to Public Resources Code section 21166 and CEQA Guidelines section 15162 and 15182 (no sub-sequent or supplemental EIR is required, because no “substantial changes” to the project or to the circumstances under which the project was undertaken are proposed, and there are no “new significant environmental effects” or a “substantial increase in the severity of previously identified significant effects” under the existing EIR).

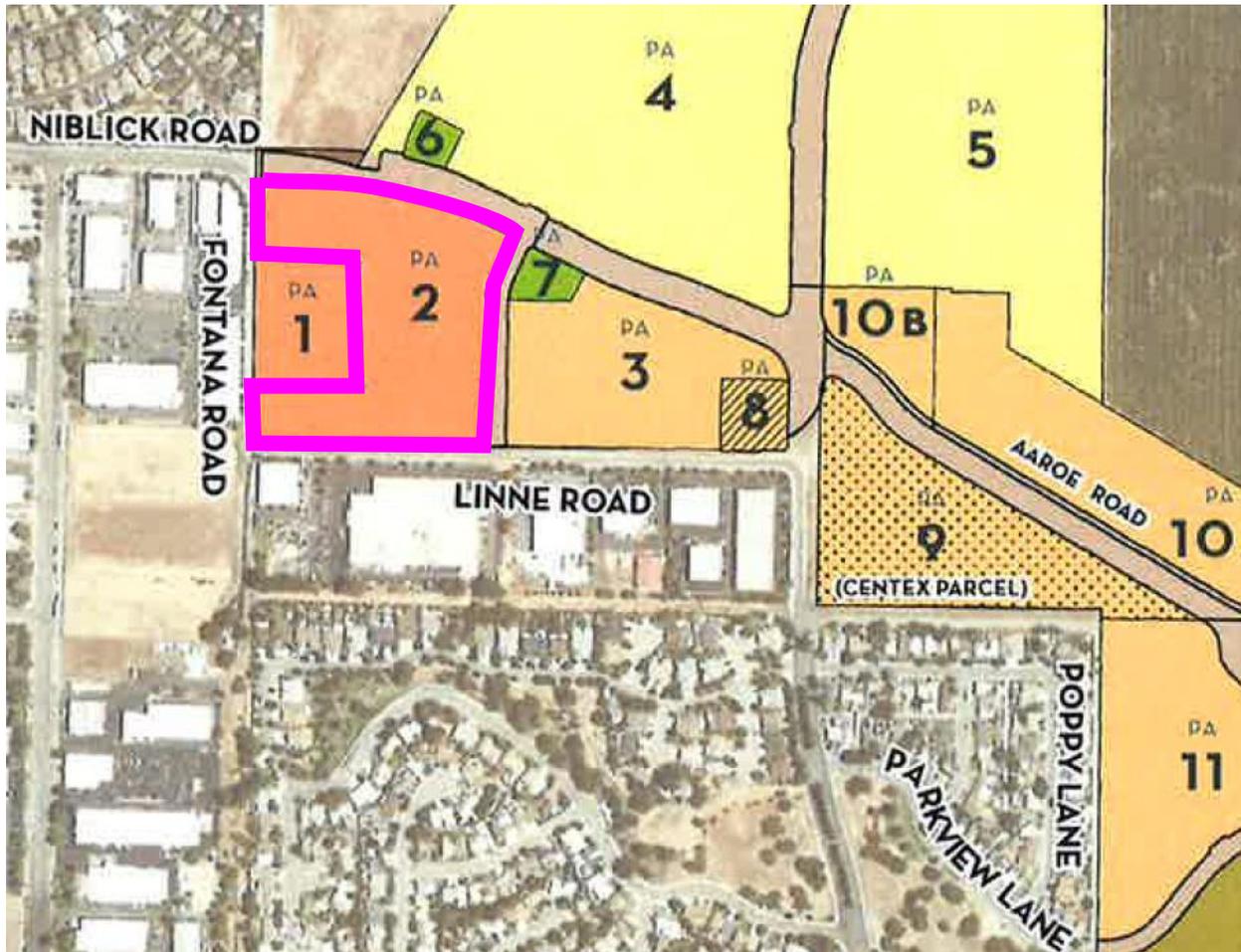
Recommendation (Option 1)

Approve Draft Resolutions A, B, and C, approving the project, subject to site specific conditions of approval.

Attachments

1. Attachment 1. Vicinity Map
2. Attachment 2. Draft Resolution A
3. Attachment 3. Draft Resolution B
4. Attachment 4. Draft Resolution C
5. Attachment 5. Vinedo Circulation Plan, Multimodal Network Map
6. Attachment 6. Mail Affidavit
7. Attachment 7. Legal Affidavit

Attachment 1



Attachment 2

Draft Resolution A

RESOLUTION PC 25-XXX

**A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
APPROVING VESTING TENTATIVE TRACT MAP 3227 AS PART OF THE
OLSEN RANCH AND SOUTH CHANDLER RANCH SPECIFIC PLAN AREA 2**

**APPLICANT – OLSEN RANCH 212, LLC
APNs: 025-382-002**

WHEREAS, the Olsen-South Chandler Specific Plan (“Specific Plan” or “SP”) was approved by the City Council on February 20, 2020, the SP document can be found [here](#). The intent of the SP is to serve as a comprehensive guide to development of the 358-acre, 1,293 residential unit specific plan, located on the southeast side of the City, adjacent to the unincorporated San Luis Obispo County land; and

WHEREAS, as part of the approvals of the SP, Vesting Tentative Tract Map (VTTM) 3153 was approved, subdividing the various planning areas (“PA”) to accommodate the 1,293 residential units. Planning Area 2 was included in VTTM 3153, which approved 108-condominium units spread out over 4 lots; and

WHEREAS, since the approval of VTTM 3153, Olsen Ranch 212, LLC (the “Applicant”) has submitted VTTM 3227 proposing a new tentative map that would accommodate a total of 126-condominium units for PA-2 (the “Project”); and

WHEREAS, in conjunction with VTTM 3227, the Applicant has submitted Planned Development 25-01 (“PD 25-01”), which provides the overall site planning for the tract, architecture, colors/materials palette, conceptual landscaping, which are found to be consistent with the development standards that were originally approved with the SP; and

WHEREAS, VTTM 3227 includes the transfer of 18 units from Planning Area 10 (“Our Town” or “PA 10”). SP Policy 2.1.6. allows density transfers from one planning area to another within the Specific Plan, as long as the overall unit count of 1,293 units is not exceed for the entire Specific Plan area; and

WHEREAS, the Development Review Committee (“DRC”) reviewed the Project at their meeting on January 27, 2025; and

WHEREAS, a Final Environmental Impact Report (EIR) was previously prepared for the Olsen-South Chandler Specific Plan and adopted by the City. The proposed Vesting Tentative Tract Map does not require additional review under CEQA pursuant to Public Resources Code section 21166 and CEQA Guidelines section 15162 and 15182, as no subsequent or supplemental EIR is required, because no “substantial changes” to the Project or to the circumstances under which the Project was undertaken

are proposed, and there are no “new significant environmental effects” or a “substantial increase in the severity of previously identified significant effects” under the existing EIR; and

WHEREAS, a duly noticed hearing was conducted on April 8, 2025 to allow the Planning Commission to consider the facts in the staff report prepared, and to accept public testimony regarding Tentative Tract Map 3227.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Paso Robles, as follows:

Section 1. Recitals. The Planning Commission hereby finds that the foregoing recitals are true and correct and are incorporated herein as substantive findings of this Resolution.

Section 2. Compliance with the California Environmental Quality Act. A Final Environmental Impact Report (EIR) was previously prepared and adopted per City Council Resolution 20-024 for the Olsen-South Chandler Specific Plan that analyzed the proposed Project’s environmental impacts pursuant to CEQA (SCH 2019011065). The proposed Vesting Tentative Tract Map does not require additional review under CEQA pursuant to Public Resources Code section 21166 and CEQA Guidelines section 15162 and 15182 as no subsequent or supplemental EIR is required, because no “substantial changes” to the Project or to the circumstances under which the Project was undertaken are proposed, and there are no “new significant environmental effects” or a “substantial increase in the severity of previously identified significant effects” under the existing EIR. The Planning Commission finds that this Project is within the scope of the EIR, which adequately describes the activity for the purposes of CEQA such that no additional environmental assessment is required.

Section 3. Findings for Approval of Vesting Tentative Tract Map 3227. Based on the facts and analysis presented to it, including all written and oral testimony and staff presentations, and subject to the Conditions of Approval and attachments hereto, the Planning Commission finds as follows:

- a. Pursuant to Chapter 22.14, “Vesting Tentative Map Procedures,” of the El Paso de Robles Municipal Code, and the Olsen-South Chandler Ranch Specific Plan, the VTTM 3227 subdivision, as conditioned, is consistent with the Olsen-South Chandler Ranch Specific Plan, and is consistent with: (1) the goals and policies established by the General Plan; (2) the policies and development standards established by the Zoning Ordinance; (3) all other adopted codes, policies, standards, and plans of the City.
- b. The VTTM 3227 includes the transfer of 18 residential units from PA 10 (“Our Town”) consistent with Policy 2.1.6 of the Olsen-South Chandler Specific Plan, which permits density transfers between the Planning Areas (“PA”) “through a Development Plan process if the maximum of 1293 units is not exceeded and the maximum densities of the PAs are not exceeded.” The proposed transfer of units would not exceed the maximum of 1293 units for the Specific Plan, or cause the maximum densities of PA 2 or PA 10 to be exceeded.
- c. VTTM 3227 would be consistent with the surrounding neighborhood development pattern and land uses. PA 2 is designated in the Olsen-South Chandler Ranch Specific Plan for high-density residential development, which is consistent with VTTM 32247. PA 1, to the east of PA 2, is also designated for high-density residential; PA 3, to the west of PA 2,

is designated for medium-density residential development; and PA 4, to the north of PA 2, is designated for low-density residential development.

- d. VTTM 3227 will not be detrimental to the health, safety, morals, comfort, convenience, or general welfare of the residents living in or near the proposed neighborhoods, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the city.
- e. VTTM 3227 accommodates the aesthetic quality of the City as a whole, and will fit in with the established surrounding quality of development, especially where development will be visible from public views, gateways to the City, and scenic corridors.
- f. VTTM 3227 is compatible with, and is not detrimental to, surrounding land uses and improvements, circulation system; it provides an appropriate visual appearance, and contributes to the mitigation of any environmental impacts through implementation of the Mitigation Monitoring and Reporting Program adopted for the Olsen-South Chandler Ranch Specific Plan per PC Resolution 20-024, and participation in the Development Impact Fee Program.

Section 4. Findings for Approval of Proposed Street Names. Based on the facts and analysis presented to it, including all written and oral testimony and staff presentations, the Planning Commission finds as follows regarding proposed road names for VTTM 3227 pursuant to Section 22.20.080 of the El Paso de Robles Municipal Code:

- a. The naming of roads with official names will help clarify the locations of addressable structures for service providers and others.
- b. The adoption of road names is needed in order to establish a comprehensive road name and addressing system for the City.
- c. The adoption of road names is needed for successful implementation of the City's Emergency Services and the County's Enhanced 9-1-1 Response Program (E-911).

Section 5: Approval. The Planning Commission does approve Vesting Tentative Tract Map 3227, subject to the following:

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
A	Site-Specific Conditions
B	Standard Conditions
C	Vesting Tentative Tract Map (VTTM 3227)
D	Street Sections
E	Preliminary Grading Plan
F	Site Sections
G	Preliminary Utility Plan
H.2-H.3	Utility Profiles
I	VTTM 3227 Project Street Name List

PASSED AND ADOPTED THIS 8th day of April 2025 by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

ROBERT COVARRUBIAS, CHAIRPERSON

ATTEST:

WARREN FRACE, PLANNING COMMISSION SECRETARY

Exhibit A – Site-Specific Conditions of Approval

Exhibit B - Standard Conditions of Approval

Exhibit C – Tentative Tract Map 3227

Exhibit D - Street Sections

Exhibit E – Preliminary Grading Plan

Exhibit F – Site Sections

Exhibit G - Preliminary Utility Plan

Exhibit H.1-H.3 – Utility Profiles

Exhibit I - VTTM 3227 Project Street Name List

**Project Conditions
(Tract 3227)**

- 1. The applicant/developer shall comply with those standard conditions which are indicated as applicable in "Exhibit B" to this resolution. When future applications are submitted to the City for development of the newly created lots, additional site-specific conditions will apply. Note: All checked standard conditions shall apply unless superseded by a site-specific condition.
- 2. The project shall be constructed so as to substantially conform with the following listed exhibits and conditions established by this resolution:

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
A	Site-Specific Conditions
B	Standard Conditions
C	Vesting Tentative Tract Map (VTTM 3227)
D	Street Sections
E	Preliminary Grading Plan
F	Site Sections
G	Preliminary Utility Plan
H	Utility Profiles
I	VTTM 3227 Project Street Name List

- 3. Tentative Tract Map 3227 coincides with Planned Development 25-01 and authorizes the subdivision of Planning Area 2 of the Olsen South Chandler Ranch Specific Plan for the creation of a 126-unit condominium map, where Lots 1, 2, and 3 are for the purpose of condominium units, and Lots 4 and 5 are for the purpose of common area lots for drainage and private access, respectively.
- 4. The Final Subdivision Map shall be in substantial compliance with the tentative tract map.
- 5. Approval of this project is valid for a period of two (2) years from date of approval. Unless the VTTM 3227 is recorded or construction permits have been issued and site work has begun, the approval of VTTM 3227 and Planned Development 25-01 shall expire on April 8, 2027. The Planning Commission may extend this expiration date if a Time Extension application has been filed with the City along with the fees before the expiration date.
- 6. Any condition imposed by the Planning Commission in approving this Tentative Tract Map may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the granting of the original permit. No such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or

Exhibit A

neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use under the Development Plan.

PLANNING SITE SPECIFIC CONDITIONS:

7. Prior to issuance of a final map, the Homeowner's Association shall provide planning staff a copy of the landscape maintenance agreement demonstrating that landscaping in the right-of-way will be privately maintained.
8. Prior to issuance of a final map, a landscaping plan shall be submitted for the drainage basin for Lot 4, consistent with the basin landscape standards of the specific plan.

ENGINEERING SITE SPECIFIC CONDITIONS:

Condo map

General Engineering

1. Applicant shall annex or through another appropriate mechanism enroll in all pertinent Community Facility District's required by the Development Agreement and Specific Plan.

Timing: Prior to Final Map.

2. At the time of permit issuance or other grants of approval, the applicant agrees to develop the property in compliance with all applicable City of Paso Robles, et al. codes and ordinances, including but not limited to the Paso Robles Municipal Code, California Building Standards Code (as adopted by the City, including the Building Code, Plumbing Code, Mechanical Code, Electrical Code, and Fire Code, Energy Code), Paso Robles Grading Ordinance, Highway Permit Ordinance, Zoning Ordinance, and City Standard Plans and Specifications. All construction, grading, demolition, and site improvements shall adhere to these standards, as well as any applicable state and federal regulations.
3. The Final Map shall be in substantial compliance with the attached Vesting Tentative Tract Map (VTTM) as determined by the City Engineer and Community Development Director.
4. All new property corners shall be installed in accordance with the City Municipal Code and Subdivision Map Act. If the monuments are not set prior to final map the applicant shall bond for the monuments as part of the Subdivision Improvement Agreement.
5. All conditions shall be complied with in a manner subject to approval of the City Engineer .

Exhibit A

6. The City Engineer reserves the right to request revisions to the Vesting Tentative Tract Map (VTTM), grading, drainage, or any other plan to ensure that project complies with the Vinedo Specific Plan, Final Environmental Impact Report, City Engineering Standard Details and Specifications, Development Agreement, other design standards, Municipal Code or to resolve conflicts with other plans, policies or requirements of the City.
7. In areas of conflict between Vesting Tentative Tract Map, Specific Plan, Development Agreement and/or Environmental Document, the Specific Plan, Development Agreement and Environmental Document shall take precedence.
8. The applicant shall comply with the latest edition of the Department of Public Works Standard Details and Specifications.
9. The applicant shall submit a Final Tract Map prepared by or under the direction of a person licensed to practice land surveying in the State of California. The Final Tract Map shall be approved by the City Council and filed in the Office of the County Recorder Prior to issuance of building permits in compliance with applicable City of El Paso de Robles, County of San Luis Obispo, and State of California Codes.
10. Prior to the Final Tract Map being filed with the County Recorder, the applicant shall not grant or record easements within areas proposed to be granted, dedicated, or offered for dedication for public streets or highways, access rights, building restriction rights, or other easements, unless subordinated to the proposed grant or dedication. If easements are granted after the date of VTTM approval, subordination must be executed by the easement holder prior to the filing of the Tract Map.
11. Prior to Final Tract Map approval, the applicant shall label driveways as "Private Driveway and Fire Lane" and private roads on the map, as directed by the City Engineer.
12. The applicant shall submit a preliminary subdivision report with application for the review of the Final Map. A final subdivision guarantee is required prior to Final Tract Map approval.
Timing: At Final Map plan check.
13. Prior to final map approval, the applicant shall adjust, relocate, and/or eliminate lot lines, lots, streets, easements, grading, geotechnical protective devices, and/or physical improvements to comply with ordinances, policies, and standards in effect at the date the City determined the application to be complete, all, as directed by the City Engineer.

Exhibit A

14. The applicant shall acquire all offsite public access, public utility, and other easements required for VTTM 3227, except to the extent the Development Agreement provides otherwise. The applicant shall acquire the offsite easements and dedicate them to the City or appropriate entity as required by the City Engineer.

Timing: Prior to Recordation of the Final Map.

15. VTTM 3227 approval is subject to the applicant's acceptance of the following conditions for acquisition or abandonment of easements/right-of-way:
 - a. The applicant shall secure, at the applicant's expense, sufficient title, or interest in land to permit construction of any required off-site improvements unless the title or interest in land is specifically addressed in the Development Agreement.
 - b. If the applicant is unable to acquire sufficient title or interest to permit construction of the required off-site improvements, the applicant shall notify the City of this inability not less than six months prior to approval of the Final Tract Map. In such case, the City may thereafter acquire sufficient interest in the land, which will permit construction of the off-site improvements by the applicant. If the City does not pursue acquiring interest, then the developer shall modify the Vesting Tentative Tract Map to contain all grading, drainage, and streets within the limits of the tract boundary.
 - c. The applicant shall pay all of the City's costs of acquiring said off-site property interests pursuant to Government Code Section 66462.5, except to the extent the Development Agreement provides otherwise. Applicant shall pay such costs irrespective of whether the Tract Map is recorded or whether a reversion occurs. The cost of acquisition may include, but is not limited to, acquisition prices, damages, engineering services, expert fees, title examination, appraisal costs, acquisition services, relocation assistance services and payments, legal services and fees, mapping services, document preparation, expenses, and/or damages as provided under Code of Civil Procedures Sections 1268.510-.620 and overhead.
 - d. The applicant agrees that the City will have satisfied the 120-day limitation of Government Code Section 66462.5 and the foregoing conditions relating thereto when it files its eminent domain action in superior court within said time.
 - e. At the time the applicant notifies the City as provided in "B" hereinabove, the applicant shall simultaneously submit to the City in a form acceptable to the City all appropriate appraisals, engineering specifications, legal land descriptions, plans, pleadings, and other documents deemed necessary by the City to

Exhibit A

commence its acquisition proceedings. Said documents must be submitted to the City for preliminary review and comment at least 30 days prior to the applicant's notice described hereinabove at "B"

- f. The applicant agrees to deposit with the City, within five days of request by the City, such sums of money as the City estimates to be required for the costs of acquisition. The City may require additional deposits from time-to-time.
 - g. The applicant shall not sell any lot/parcel/unit shown on the Tract/Parcel Map until the City has acquired said sufficient land interest or otherwise agreed to by the City.
 - h. If the superior court thereafter rules in a final judgment that the City may not acquire said sufficient land interest, the applicant agrees that the Vesting Tentative Tract Map shall be revised.
 - i. The applicant shall execute any agreements mutually agreeable prior to approval of the Tract Map as may be necessary to assure compliance with the foregoing conditions.
 - j. Failure by the applicant to notify the City as required by "B" hereinabove, or simultaneously submit the required and approved documents specified in "E" hereinabove, or make the deposits specified in "F" hereinabove, shall constitute applicant's waiver of the requirements otherwise imposed upon the City to acquire necessary interests in land pursuant to Section 66462.5. In such event, subdivider shall meet all conditions for installing or constructing off-site improvements notwithstanding Section 66462.5.
16. The applicant shall eliminate all geologic hazards associated with this proposed development, or delineate restricted use areas on the Tract Map as approved by the consultant geologist, and dedicate to the City the right to prohibit the erection of buildings and other structures within all restricted use areas and as directed by the City Engineer.

Timing: Prior to Tract Map approval.

17. Where the VTTM, Specific Plan, Development Agreement, and Environmental Document do not address map or development issues, the City Municipal Code and most current edition of the City's Standard Details and Specifications shall apply at the City Engineers discretion.
18. The VTTM is subject to and shall conform to all pertinent conditions and mitigation requirement identified in the Environmental Impact Report (EIR), SCH#2019011065,

Exhibit A

Prepared City of El Paso de Robles with assistance of Rincon Consultants, Inc. dated October 2019 and the Olsen-South Chandler Ranch Specific Plan (SP).

19. The applicant shall pay all plan check fees pursuant to the City requirements.
20. The owner shall offer to dedicate to the City the following easement(s). The location and alignment of the easement(s) shall be to the description and satisfaction of the City Engineer:

- a. Water Line Easement(s)
- b. Sewer Facilities Easement(s)
- c. Storm Drain Easement(s)
- d. Recycled Water Line Easement(s)

Timing: Prior to Final Map

21. In accordance with Government Section 66474.9, the subdivider shall defend, indemnify and hold harmless the City, or its agent, officers and employees, from any claim, action or proceeding brought within the time period provided for in Government Code section 66499.37, against the City, or its agents, officers, or employees, to attack, set aside, void, annul the City's approval of this subdivision. The City will promptly notify subdivider of any such claim or action and will cooperate fully in the defense thereof.
22. The applicant shall record 1' wide access restrictions along Linne Road and Sherwood Road right of way.

Timing: With the Final Map.

23. Before the first Certificate of Occupancy, the applicant must transfer ownership of open space lots to the Homeowner's Association. The grant deed must be submitted to City for review and approval by the City Engineer prior to Tract Map approval.
24. The applicant shall submit a grading, drainage, and utility plans consistent with the project approvals, mitigation measures, adopted VTTM, conditions of approval, and recommendations of the site-specific soils engineering report.
25. Prior to the issuance of any grading permit, the applicant shall submit geotechnical report(s) prepared by a qualified geotechnical engineer or certified engineering geologist to support the proposed project grading. The geotechnical report(s) shall address all site-specific soil conditions and provide recommendations for grading, building foundations, slope stability, compaction, drainage and stormwater basin infiltration. The grading plan(s) shall be reviewed and approved by the project

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geotechnical engineer and/or soils engineer, confirming that all recommendations are incorporated into the project.

26. The applicant shall obtain all necessary approvals from the City's Building Division and ensure compliance with all applicable federal, state, and local regulations, including but not limited to requirements from the San Luis Obispo County Air Pollution Control District (SLOAPCD)., The applicant shall comply with National Emission Standards for Hazardous Air Pollutants (NESHAP) regulations, including notification to the SLOAPCD and proper asbestos abatement by a licensed contractor if required. Additionally, the applicant shall implement appropriate dust control measures in accordance with SLOAPCD Rule 403 (Fugitive Dust Control) to minimize airborne particulates. All demolition activities, including the removal of structures, utilities, and site improvements, shall be completed to the satisfaction of the City. The applicant shall coordinate with the City's Building Division and SLOAPCD to ensure all necessary inspections and approvals are obtained before proceeding with site grading or new construction. Any deviations from approved demolition plans shall require prior City approval.
27. The applicant shall pay all applicable City of Paso Robles Transportation Impact Fees in accordance with the Paso Robles Municipal Code, the adopted Development Impact Fee Schedule, and any applicable updates or amendments in effect at the time of permit issuance. Fees shall be calculated based on the project's land use, intensity, and anticipated impact on the City's transportation infrastructure, as determined by the City Engineer. Payment of these fees is required to mitigate the project's proportional impact on the City's roadway network and ensure compliance with the City's transportation improvement plans.
28. The locations, alignments, and sizes of all utilities shown on the Vesting Tentative Tract Map (VTTM), including but not limited to water, reclaimed water, sewer, fire lines, and storm drains, are schematic only and subject to change. The final locations, alignments, and sizes of all utilities, including but not limited to water, reclaimed water, sewer, fire lines, and storm drains, shall be reviewed and approved by the City Engineer.

All utility installations shall comply with the following minimum separation distances:

- a. Water and sewer lines: 10 feet minimum horizontal clearance, 18-inch vertical clearance.
- b. Water and storm drain lines: 4 feet minimum horizontal clearance, 18-inch vertical clearance.
- c. Gas, electric, and communication conduits: as required by CPUC General Order 128

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The applicant shall coordinate with all utility providers before finalizing designs.

29. If, at the time of approval of the final map, any required public improvements have not been completed and accepted by the City the owner shall be required to enter into a Subdivision Improvement Agreement with the City in accordance with the Subdivision Map Act and bond for the improvements.
 - a. Bond Amount requirements and the amount shall be as follows:
 - b. Performance Bond.....100% of improvement costs.
 - c. Labor and Materials Bond.....50% of performance bond.
 - d. Monument Bond100% of cost to set monuments shown on the Final Map

30. The Applicant shall sign an Engineering Plan Check and Inspection Agreement and pay for all staff time related to plan review, inspection oversight, compliance, and administrative costs related to the development, at the City Council adopted Comprehensive Fee Schedule rates (at time of service). Payments will be invoiced and due within 30 days.

Covenants, Conditions, and Restrictions Requirements

31. Prior to Tract Map approval, the applicant shall obtain approval from the City Engineer and the City Attorney for Covenants, Conditions, and Restrictions (CC&Rs) for this development. The applicant shall reimburse the City for the City Attorney's review and approval fee. The CC&Rs shall:
 - a. Include a disclosure to comply with the Geotechnical Engineer's recommendations in the Geotechnical Report concerning restrictions on watering, irrigation, and recommend plant types.
 - b. Grant the City the authority to review and approve/disapprove amendments (including dissolution) of the CC&Rs or the association.
 - c. Grant the City the right (though not the obligation) to enforce the CC&Rs (at a minimum those provisions related to City-required items).
 - d. Include a disclosure to comply with all the development standards and design guidelines outlined in the approved Specific Plan.
 - e. Include conditions included in these Conditions of Approval related to paving, maintenance and repair of project driveways and private roads.

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- f. Include Maintenance of all in tract landscaping, private utilities, stormwater facilities and other facilities as needed.
 - g. Include other provisions and requirements as directed by the City.
 - h. Easement Compliance: Require that all work within public utility easements be subject to City plan check, inspection, and payment of applicable fees.
 - i. Maintenance Responsibilities: Assign maintenance and surface restoration responsibilities for all areas where public utilities are located outside public rights-of-way, including private streets, gated communities, alleys, and areas with non-standard enhancements (e.g., decorative paving, landscaping, signage).
 - j. Access and Repair Rights: Grant the City access rights for the operation, maintenance, repair, and replacement of public utilities, with the property owner, HOA, or POA responsible for any surface restoration beyond City standards.
32. The CC&Rs shall require the HOA to restore paving and surface improvements, including sidewalks, private streets, driveways, and landscaping, necessitated by City operation, maintenance, repair, or replacement of City-owned utilities. The City approved CC&Rs and HOA Agreement shall be filed prior to the first occupancy.
33. The applicant shall record a covenant for easement of all shared driveways and drive isles, and common landscaping/slope maintenance areas, as directed by the City Engineer. This condition may be satisfied by incorporating the appropriate provisions into the CC&Rs.

Timing: Prior to Final Map

Utilities

34. The applicant shall design and construct separate utilities, including water, recycled water, sewer, gas, electricity, telephone, fiber optic, and cable TV shall be served to each lot to the satisfaction of the Utilities Department and serving utility companies. All public and private water mains, sewer mains and laterals shall be shown on the public improvement plans and shall be constructed pursuant to City Engineering Standards unless a waiver or alternate standard is approved by the City. The plans shall clearly delineate and distinguish between public and private improvements.
35. All above ground utilities around the perimeter or interior to the project shall be relocated underground to the City Engineer's satisfaction.

Timing: Prior to Grading Final.

Timing: Prior to Final Map if easements need to be abandoned.

Exhibit A

36. Utilities shall not be located in areas subject to inundation by stormwater facilities unless special permission is provided by the affected utility.
37. Ten-foot Public Utility Easements shall be provided along all proposed public and private roads to serve the development. The City Engineer may allow changes to the width to accommodate development on corner lots or other areas as appropriate. Main trunk lines shall be installed. The design and layout is subject to approval by the City Engineer.
38. The applicant shall provide utility stub outs as directed by the City Engineer.
39. The applicant shall design and construct a Fiber optic conduit(s) which shall be included throughout the subdivision and installed to the satisfaction of the City Engineer. Fiber Optic conduits (two 3-inch conduits) and pull boxes shall be installed on all public and private streets throughout the project and dedicated to the City. Where installed in private streets dedicated to the City a utility easement.
40. All water, sewer, and recycled water pipelines that are not located in a public right-of-way or public roadway will require a pipeline and access easement that meets City Engineering Standards and Specification and any other requirements, including width of the easement, access improvements, and protection of the City's right and ability to access, maintain and replace the pipelines on private property. The City requires that all public utility easements for sewer and water be located in roads, private streets and not on lots or between buildings. Each building must be served by a separate service connection which shall not cross property lines.

Water

41. The Applicant shall design, fund, construct, and install all project necessary public improvements, including potable water, and recycled water facilities, in conformance with the latest edition of City Standard details and specifications, State Drinking Water Standards, and applicable technical analyses prepared by the City or its consultants. All proposed facilities shall be designed by a Registered Civil Engineer and reviewed and approved by the City Engineer and Utilities Director. The designation of utilities as "public" shall be at the discretion of the City Engineer and Utilities Director. The water system(s) for the project shall comply with the following requirements at the applicable time, which includes, prior to City approval of plans, final map approval, building permit and/or occupancy:
 - i. Looped Water System & Sizing:

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- a. The Applicant shall install a looped water main system with no fewer than two separate connections directly to the City's water system to ensure redundancy and reliable service.
 - b. Water mains shall be sized based on the Project's peak water demands, including domestic, irrigation, fire flow, and any additional system requirements, as determined by a Registered Civil Engineer and approved by the City Water Manager and City Engineer.
 - c. The City reserves the right to require upsizing of water mains if needed to accommodate current or future demand beyond the Project.
- ii. Points of Connection & System Design:
 - a. The Applicant shall identify and establish points of connection to the existing City water system, ensuring adequate capacity and pressure to serve the Project.
 - b. Mains and service lines serving each parcel shall not cross separate parcels.
 - c. If City recycled water or an alternative City non-potable water supply is available within 1,000 feet of the property line, it shall be used for suitable landscape irrigation and other approved non-potable applications.
- iii. Service Connections & Backflow Prevention:
 - a. The Applicant shall provide separate water services for domestic, irrigation, and fire protection.
 - b. All commercial, industrial, and institutional services, fire protection systems, and any site with hazardous substances, auxiliary water supplies, or recycled water access shall include backflow prevention devices per City requirements.
 - c. Service connections and meter boxes shall be located outside of all driveway approaches.
- iv. Water Meter Sizing & Abandonment of Existing Lines:
 - a. Water meter sizes shall be determined by a Registered Civil Engineer based on peak demand and approved by the City Utilities Director or designee.
 - b. If the City determines that existing meters or service lines are undersized, the Applicant shall replace them at the owner's expense.
 - c. Any unused or abandoned service laterals shall be removed and properly abandoned at the water main per City requirements.
- v. Fire Flow & Emergency Supply:
 - a. The Applicant shall provide fire flow analysis demonstrating that the proposed system meets all applicable fire protection requirements.

Exhibit A

- b. Fire hydrants shall be installed per City and Fire Department standards, with adequate spacing and capacity for emergency response.
 - vi. Testing & Disinfection Before Service Activation
 - a. All newly installed potable and recycled water mains shall undergo pressure testing, bacteriological testing, and flushing in accordance with City Standards and applicable state and federal regulations.
 - b. All water system components shall be disinfected according to City requirements.
 - c. All newly installed potable and recycled water mains shall be inspected by Utility Department water operations staff prior to activation.
42. All Fire Hydrants serving the subject project, that are within City right of way, private or public streets which are served directly from the City water system, shall be public and owned by the City consistent with City Standards.
43. The Applicant shall be responsible for all applicable fees and charges, including connection and capacity fees, meter fees, monthly service charges, and any upsizing or upgrading of existing public facilities and infrastructure necessary to accommodate the Project, as determined by the City Engineer and Utilities Director prior to issuance of any permits.
44. The Applicant shall ensure that all public utility improvements, including but not limited to potable water, recycled water, sewer, and storm drain facilities, are placed within City right-of-way or easements dedicated to the City. All easements shall be sized, located, and configured in compliance with the City Standard Details and Specifications and to the satisfaction of the City Engineer and Utilities Director to allow access, operation, maintenance, repair, and replacement of public infrastructure. Easements shall be recorded with the final map or prior to permit issuance for the permitted work.
45. Water mains shall be installed in accordance with the construction phasing plan or as required by the City Engineer.
- Prior to the issuance of building permits in each phase.
46. City water and recycled mains shall be installed beneath trench backfill consisting of well-graded native material, imported material, or aggregate base course compacted according to City Standards for pipe zone and trench backfill. City water and recycled

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mains shall not be installed beneath roadways with open- or poorly graded rock/ drain rock greater than 6 inches in total thickness, or pavers.

47. The Applicant shall ensure that all applicable provisions related to public utility improvements, easement responsibilities, maintenance obligations, and surface restoration requirements are incorporated into the Project's Covenants, Conditions, and Restrictions (CC&Rs). The CC&Rs shall include, but are not limited to, provisions that:
- a. Easement Compliance: Require that all work within public utility easements be subject to City plan check, inspection, and payment of applicable fees.
 - b. Maintenance Responsibilities: Assign and Assume maintenance and surface restoration responsibilities for all areas where public utilities are located outside public rights-of-way, including private streets, gated communities, alleys, and areas with non-standard enhancements (e.g., decorative paving, landscaping, signage).
 - c. Access and Repair Rights: Grant the City access rights for the inspection, operation, maintenance, repair, and replacement of public utilities, with the property owner, HOA, or POA responsible for any surface restoration beyond City standards. For City mains within privately maintained roadways, City will provide compacted trench backfill to road subgrade only. The HOA articles of incorporation must include the provision that the HOA is responsible for repaving under excavations for utility rep
 - d. Recycled Water and Backflow Prevention: Require compliance with City regulations for the use of recycled water where available and the installation of backflow prevention devices where necessary.
 - e. Easement Documentation: Ensure that easements and utility responsibilities are properly recorded and binding upon future property owners.

The Applicant shall submit draft CC&Rs for City review and approval prior to final map recordation or issuance of any occupancy permit, as determined by the City.

48. Separation between water and other underground facilities shall meet City requirements.

Recycled Water

49. Recycled water shall be utilized to irrigate all common areas such as parks and landscape areas, including recreational areas unless this requirement is waived by the City. Individual residential and commercial lots shall not be served by recycled water.

Exhibit A

50. Design, installation, and testing of recycled water facilities and easements are subject to approval by City Water Department and City Engineer. Minimum recycled water main size shall be 8-inches unless otherwise allowed by the City Engineer or Water Resources Manager.
51. All recycled water facilities including onsite irrigation systems shall comply with State and local requirements for recycled water facilities.
52. Recycled water mains and facilities shall be installed in conjunction with the installation of water and sewer facilities needed for this project.
Timing: Prior to issuance of Building Permits.
53. City landscape water connections shall be used at each irrigation site until recycled water service is available. The HOA entity shall be responsible for City capital facility charges/connection fees, and for cross connection testing.
54. Provide easements meeting City requirements for all recycled lines located outside of City rights-of-way. Unless otherwise approved by the City Engineer, easements between buildings shall be a minimum of 30 feet and 20 feet in clear areas, with 12 foot wide aggregate base all-weather road and clear of surface improvements per City Standard Details and Specifications regarding sewer and water easements.
55. City water and recycled mains shall be installed beneath trench backfill consisting of well-graded native material, imported material, or aggregate base course compacted according to City Standards for pipe zone and trench backfill. City water and recycled mains shall not be installed beneath roadways with open- or poorly graded rock/ drain rock greater than 6-inches in total thickness, or pavers.
56. All recycled water lines proposed under privately maintained roadways, HOA maintained areas, etc., shall be within public utility easements or public water easements. In the event of future maintenance or repair to underground water and recycled water facilities, the HOA will be responsible for all surface restoration and paving of trench repair areas. For City mains within privately maintained roadways, City will provide compacted trench backfill to road subgrade only. The HOA articles of incorporation must include the provision that the HOA is responsible for repaving under excavations for utility repair.
57. The alignment of water and recycled water lines shall be to the satisfaction of the City Engineer and Water Manager and shall provide a minimum 5-foot-width centered over mains that is clear of surface features such as medians, concrete curbs, gutters, etc.

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58. The points of connection for Recycled Water Service for the VTTM shall be to the satisfaction of the City Engineer and the Utilities Director.

Wastewater

59. All wastewater lines will be constructed to City Engineering Standard Details and Specifications or as required by the City Engineer and Public Works Wastewater Department.
60. Construction of sewer lines shall follow project phasing, unless otherwise directed by the City Engineer or these conditions.
61. Wastewater lines shall not be located under pervious pavers or areas where water is designed to infiltrate without special permission from the City Engineer or Public Works Wastewater Department.
62. Prior to issuance of building permits for units in each phase, the applicant shall construct main-line sewers with separate laterals to serve each lot/parcel. For City mains within privately maintained roadways, City will provide compacted trench backfill to road subgrade only. The HOA articles of incorporation must include the provision that the HOA is responsible for repaving under excavations for utility rep
63. The on-site sewer shall be a publicly maintained sewer. The public sewer plan shall be reviewed and approved by the City Engineer; and, prior to Tract Map approval, all necessary easements for maintenance of the sewer shall be dedicated to the City.

Timing: Prior to Final Map

64. The applicant shall dedicate all necessary sewer easements on the final Map. The sewer plans shall be submitted to the City for review and approval by the City Engineer.
65. All sewer lines shall be designed with a minimum horizontal separation from water supply lines of a minimum of 10-feet (ten) in conformance with City Standards.

Storm Water

66. Prior to issuance of grading permit, the applicant shall have approved by the City Engineer, a Final Stormwater Mitigation Plan (SMP) that incorporates appropriate post construction Best Management Practices (BMPs), maximizes pervious surfaces, and includes infiltration into the design of the project. Refer to the City Engineering Standards and the Central Coast Regional Water Quality Control Board's Post Construction Requirements Resolution No. R3-2013-0032. Timing: prior to issuance of Grading Permits.

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67. This project will disturb one acre or more of land. Therefore, the applicant must obtain coverage under a statewide General Construction Activities Stormwater Permit (General Permit). In accordance with the General Permit, the applicant shall file with the State a Notice of Intent (NOI) for the proposed project. Prior to issuance of grading permit by the City, the applicant shall have approved by the City Engineer a Stormwater Pollution Prevention Plan (SWPPP). The SWPPP shall include a copy of the NOI and shall reference the corresponding Waste Discharge Identification (WDID) number issued by the State upon receipt of the NOI.

68. The applicant shall demonstrate that the proposed VTTM drainage will not adversely impact the adjacent properties to the satisfaction of the City Engineer. Based on the Grading Layout sheets there are areas that appear to block runoff from entering the VTTM boundary.

Timing: Prior to grading plan approval

69. All proposed stormwater basins, as shown on the Vesting Tentative Tract Map (VTTM), shall be designed and constructed in accordance with the approved Drainage Study and Stormwater Control Plan, ensuring compliance with City of Paso Robles standards and all applicable stormwater management regulations. Each basin shall be designed to accommodate peak stormwater flows, providing adequate detention, retention, and water quality treatment as required by the City's stormwater management policies, NPDES, and MS4 permit provisions.

The final design shall incorporate appropriate Best Management Practices (BMPs), including but not limited to biofiltration systems, low-impact development (LID) features, and erosion control measures to minimize sedimentation and protect downstream water quality. The basins shall be designed to prevent adverse impacts to adjacent properties, public infrastructure, and natural watercourses.

Prior to the issuance of grading or improvement permits, the final design of all stormwater basins, including supporting hydraulic calculations, shall be submitted for review and approval by the City Engineer. No grading or construction of any stormwater basin shall commence until the plans have been reviewed, approved, and deemed satisfactory by the City. The applicant shall be responsible for constructing all basins in conformance with the approved plans and ensuring proper functionality upon project completion.

70. All proposed stormwater basins, shown on the Vesting Tentative Tract Map (VTTM), shall be maintained in perpetuity by the Home Owners Association (POA). The POA shall be responsible for ongoing maintenance, inspections, and necessary repairs to ensure the continued functionality of the basins in accordance with the approved Drainage

Exhibit A

Study, City of Paso Robles standards, and applicable stormwater management regulations, including NPDES and MS4 permit provisions.

The Covenants, Conditions, and Restrictions (CC&Rs) for the project shall include specific provisions detailing the POA's responsibility for stormwater basin maintenance, including but not limited to:

- a. Regular inspection and maintenance schedules.
- b. Requirements for sediment and debris removal.
- c. Maintenance of vegetation and biofiltration features.
- d. Repair and replacement of any damaged or failing drainage infrastructure.
- e. Compliance with all City stormwater and water quality regulations.

Prior to the issuance of the first building permit, the applicant shall submit draft CC&Rs to the City for review and approval to ensure compliance with this condition. Proof of recordation of the final CC&Rs, including the stormwater basin maintenance provisions, shall be provided to the City prior to final map approval or issuance of a certificate of occupancy for any structure within the project.

71. All stormwater basins, as shown on the Vesting Tentative Tract Map (VTTM), shall be landscaped and fenced to the satisfaction of the City and in conformance with the approved project design guidelines. Landscaping shall be designed to enhance aesthetics, provide erosion control, and support stormwater filtration while maintaining the functionality of the basins.

The following requirements shall apply:

- a. Landscaping shall incorporate drought-tolerant, non-invasive plant species consistent with the project's overall landscape theme and stormwater management objectives.
- b. Vegetation shall be maintained to prevent overgrowth, ensure proper drainage function, and support water quality treatment features such as biofiltration areas.
- c. Fencing shall be installed around the basins as required by the City for public safety and shall be consistent with the project's design guidelines regarding height, materials, and aesthetic character.
- d. Access gates shall be provided for maintenance purposes and shall remain locked except during authorized maintenance activities.

The applicant shall submit detailed landscape and fencing plans for review and approval by the City. The installation of landscaping and fencing shall be completed prior to the issuance of the first certificate of occupancy within the project or as otherwise approved

Exhibit A

by the City Engineer and Planning Department. The Property Owners Association (POA) shall be responsible for the ongoing maintenance of all landscaping and fencing in accordance with the approved plans.

72. The applicant shall prepare a Post Construction Stormwater Plan Report (Stormwater Plan) that incorporates appropriate post construction Best Management Practices (BMPs), maximizes pervious surfaces, and includes infiltration into the design of the project. The Plan shall be submitted in compliance with the Engineering Standard Details and Specifications.
73. The final drainage report, Post Construction Stormwater Regulation compliance strategy, and improvement plans shall include all required design details. The final reports and O&M Manual shall consider any need for on-going maintenance. The plan shall include reasonable provisions for the capture of silt, trash, and debris, through pre-basins or other methods to minimize the impact to the proposed stormwater basin.
74. The applicant shall prepare an Operations and Maintenance Manual for review and approval by the City Engineer in conjunction with the development of any stormwater BMPs that will be maintained by the Home Owners Association. The CCR's shall include provisions for required maintenance by the HOA.

Streets & Private Streets

75. Deviations from the Conditions of Approval below may be approved by the City Engineer on a case by case basis. The City Engineer and or Public Works Director may request changes to the plans or documents required by these Conditions of approval to comply with State Law, Engineering Standards, or resolve unforeseen conflicts or conditions consistent with the approved VTTM.
76. The applicant shall design and construct the private street and driveways with the appropriate extension beyond the condominium unit driveways to provide circulation for turning movements, allowing vehicles to back out of garages and drive forward from the access. The design shall comply with all applicable fire, emergency access, and vehicular circulation standards to ensure adequate maneuverability for residents, guests, and service vehicles. The private street and driveways shall be constructed to meet minimum width, turning radius, and structural section requirements as specified by the City's engineering and fire department standards. The applicant shall submit plans demonstrating compliance with these requirements for review and approval by the City Engineer and Fire Marshal prior to issuance of building permits.

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77. The applicant shall provide for Private Street and Private Driveway improvements as shown on the VTTM. The applicant shall design and construct the private roads and private driveways in accordance with the Specific Plan, Vesting Tentative Tract Map, City Engineering Standard Details and Specifications. All private street and driveway improvements shall be constructed to the City Engineer's satisfaction.

Timing: Prior to issuance of Building permits

78. Minimum public and Private paving thickness shall be as follows:

- Private streets: Minimum of 3 inches of AC, TI of 6.
- Private Paver Streets: An equivalent design for private residential paver streets will be provided for City Engineer approval.

Final Road sections will be approved by the City Engineer and modifications to the above standards can be made on a case-by-case basis by the City Engineer.

Timing: Prior to Issuance of Construction Permits

79. The existing section of Fontana Road from the intersection of Sherwood Road to Linne Road shall be reconstructed in conformance with the SP and VTTM.

Timing: Prior to Building Permit issuance for buildings that take access off this section of Road.

80. The applicant shall construct all private streets and private driveways in conformance with the SP and VTTM.

Timing: Prior to Building Permit Issuance for any residence taking access from the private street or private driveways. The applicant may request that the last lift of asphalt be delayed until prior to the second to last building permit final on the private street or as otherwise allowed by the City Engineer.

The applicant shall repair any broken or damaged curb, gutter and sidewalk, and refurbish the half section of pavement on streets within or abutting the project, to the satisfaction of the City Engineer.

Timing: Prior to building occupancy.

81. Landscape and irrigation plans for the public right-of-way shall be incorporated into the Tract and offsite improvement plans and shall require approval by the Community Services and the Community Development Department.

Timing: Prior Issuance of building permits.

82. The improvement plans shall show the location of the proposed mail receptacles or mailbox units (MBU's) to the satisfaction of the Post Master and the City Engineer. The

Exhibit A

applicant shall provide a mailbox unit or multiple units to serve all commercial units within this development as required by the Postmaster. MBU's shall not be located within the public right-of-way or public sidewalk area unless specifically approved by the City Engineer. Contact the Postmaster to establish any recommendations regarding the number, size, location, and placement for any MBU's to serve the several parcels and commercial uses.

83. The applicant shall submit all proposed street names (private streets & alley ways) for review and approval by the City prior to final map approval. The approved street names shall be incorporated into the final map to establish a standardized addressing system that enhances location clarity for emergency responders, service providers, and the public, ensuring compliance with the City's addressing policies and the County's Enhanced 9-1-1 (E-911) Response Program.
84. The following conditions shall be addressed and approved as part of the recording of the final map for each phase:
 - a. All street widths and designs shall meet the minimum California Fire Code (CFC) (including appendix D) standards.
 - b. "No Parking" signs and painted curbs are required throughout the project where the design does not allow parking as outlined in the CFC appendix D.
 - c. Fire Hydrant spacing and placement will be approved by PRFES and City Engineer.
85. Road T shown on the VTTM as permitted under separate permit shall be completed prior to the final map or bonded for prior to the final map approval.
86. Developer shall construct all private driveways shown on the VTTM at a minimum 26 feet wide, or as approved by PRFES per the Project Site Plan. The 24 foot cross section shown on the VTTM is conditional upon review for private driveways shall be subject to City approval prior to final map.
87. The applicant shall submit improvement plans for all private driveways shown on the VTTM for City review and approval.
88. The applicant shall submit a street tree location plan to the City consistent with the approved design guidelines and the City's approved Tree list. See MC 10.04-050 for quantities per linear foot on center spacing and minimum tree size.

Exhibit A

Condominiums

89. The applicant shall submit a condominium map and a condominium plan to the Community Development Department should the applicant decide to move forward with a condominium project.
- a. Condominium Plan - In addition to any requirements of the Subdivision Map Act, the condominium plan shall show:
 - i. An accurate location and description of all units.
 - ii. An accurate designation of all areas (ie. common, restricted, parking, etc.)
 - iii. Plan shall provide a space for the Community Development Director's signature prior to recordation.
 - iv. The plan shall indicate, in accompanying text that will be recorded, that the plan satisfies any and all required conditions of the City resolution approving the subdivision.
 - v. Any other information required by the Community Development Director.
 - b. Condominium Map - In addition to any requirements of the Subdivision Map Act, the condominium map shall show:
 - i. Parcel boundaries.
 - ii. Map shall show and describe any easements located on the subject site.
 - iii. The map shall indicate the total parcel area.
 - iv. The map shall reference the City resolution approving the Condominium with a note located on the map.
 - v. The map shall indicate, by note, the number of the condominium units being created, and that common area is being created.
 - vi. Any other information required by the City Engineer.

Exhibit B

CITY OF EL PASO DE ROBLES STANDARD DEVELOPMENT CONDITIONS

Planned Development 25-01 Conditional Use Permit

Tentative Parcel Map Tentative Tract Map 3227

Approval Body: Planning Commission Date of Approval: April 8, 2025

Applicant: Olsen 212, LLC Location: Southeast corner of Niblick Road and Fontana Road

APN: 025-382-002

The following conditions that have been checked are standard conditions of approval for the above referenced project. The checked conditions shall be complied with in their entirety before the project can be finalized, unless otherwise specifically indicated. In addition, there may be site specific conditions of approval that apply to this project in the resolution.

COMMUNITY DEVELOPMENT DEPARTMENT - The applicant shall contact the Community Development Department, (805) 237-3970, for compliance with the following conditions:

A. GENERAL CONDITIONS – PD 25-01:

- 1. This project approval shall expire on April 8, 2027, unless a time extension request is filed with the Community Development Department, or a State mandated automatic time extension is applied prior to expiration.
- 2. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Planned Development process shall not waive compliance with any sections of the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
- 3. To the extent allowable by law, Owner agrees to hold City harmless from costs and expenses, including attorney's fees, incurred by City or held to be the liability of City in connection with City's defense of its actions in any proceeding brought in any State or Federal court challenging the City's actions with respect to the project. Owner understands and acknowledges that City is under no obligation to defend any legal actions challenging the City's actions with respect to the project.
- 4. Any site-specific condition imposed by the Planning Commission in approving this project (**Planned Development 25-01**) may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the approval of this project. No

Exhibit B

such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use for this approval.

- 5. The site shall be kept in a neat manner at all times and the landscaping shall be continuously maintained in a healthy and thriving condition.
- 6. All signs shall be subject to review and approval as required by Municipal Code Section 21.52 and shall require a separate application and approval prior to installation of any sign.
- 7. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 8. Prior to the issuance of a Building Permit a landscape and irrigation plan consistent with the Landscape and Irrigation Ordinance, shall be submitted for City review and approval. The plan needs to be designed in a manner that utilizes drought tolerant plants, trees and ground covers and minimizes, if not eliminates the use of turf. The irrigation plan shall utilize drip irrigation and limit the use of spray irrigation. All existing and/or new landscaping shall be installed with automatic irrigation systems.
- 9. A reciprocal parking and access easement and agreement for site access, parking, and maintenance of all project entrances, parking areas, landscaping, hardscape, common open space, areas and site lighting standards and fixtures, shall be recorded prior to or in conjunction with the Final Map. Said easement and agreement shall apply to all properties, and be referenced in the site Covenants, Conditions and Restrictions (CC&Rs).
- 10. All outdoor storage shall be screened from public view by landscaping and walls or fences per Section 21.69.170 of the Municipal Code.
- 11. For commercial, industrial, office or multi-family projects and/or townhome projects, all refuse enclosures are required to provide adequate space for recycling bins. The enclosure shall be architecturally compatible with the primary building. Gates shall be view obscuring and constructed of durable materials. Check with Paso Robles Waste Disposal to determine the adequate size of enclosure based on the number and size of containers to be stored in the enclosure.
- 12. For commercial, industrial, office or multi-family projects and/or townhome projects, all existing and/or new ground-mounted appurtenances such as air-conditioning condensers, electrical transformers, backflow devices etc., shall be

Exhibit B

screened from public view through the use of decorative walls and/or landscaping subject to approval by the Zoning Administrator or his designee. Details shall be included in the building plans.

- 13. All existing and/or new roof appurtenances such as air-conditioning units, grease hoods, etc. shall be screened from public view. The screening shall be architecturally integrated with the building design and constructed of compatible materials to the satisfaction of the Zoning Administrator or his designee. Details shall be included in the building plans.
- 14. All existing and/or new lighting shall be shielded so as to be directed downward in such a manner as to not create off-site glare or adversely impact adjacent properties, per Section 21.69.170 of the Municipal Code. The style, location and height of the lighting fixtures shall be submitted with the building plans and shall be subject to approval by the Zoning Administrator or his designee.
- 15. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 16. It is the property owner's responsibility to insure that all construction of private property improvements occur on private property. It is the owner's responsibility to identify the property lines and insure compliance by the owner's agents.
- 17. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No.835 N.S., Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to removal.
- 18. No storage of trash cans or recycling bins shall be permitted within the public right-of-way.
- 19. Prior to recordation of the map or prior to occupancy of a project, all conditions of approval shall be completed to the satisfaction of the City Engineer and Community Developer Director or his designee.
- 20. Two sets of the revised Planning Commission approved plans incorporating all Conditions of Approval, standard and site specific, shall be submitted to the Community Development Department prior to the issuance of building permits.

Exhibit B

- 21. Prior to the issuance of building permits, the
 - Development Review Committee shall approve the following:
 - Planning Division Staff shall approve the following:
 - a. A screening plan for trash enclosures and HVAC equipment;
 - b. A detailed landscape and fencing plan consistent with the Olsen Specific Plan standards;
 - c. Lighting plan, consistent with the Olsen Specific Plan standards;
 - d. Signage plan
 - e. Other: See Site Specific Conditions for additional requirements.

B. GENERAL CONDITIONS – TRACT/PARCEL MAP:

- 1. In accordance with Government Section 66474.9, the subdivider shall defend, indemnify and hold harmless the City, or its agent, officers and employees, from any claim, action or proceeding brought within the time period provided for in Government Code section 66499.37, against the City, or its agents, officers, or employees, to attack, set aside, void, annul the City's approval of this subdivision. The City will promptly notify subdivider of any such claim or action and will cooperate fully in the defense thereof.
- 2. The Covenants, Conditions, and Restrictions (CC&Rs) and/or Articles Affecting Real Property Interests are subject to the review and approval of the Community Development Department, the Public Works Department and/or the City Attorney. They shall be recorded concurrently with the Final Map or prior to the issuance of building permits, whichever occurs first. A recorded copy shall be provided to the affected City Departments.
- 3. The owner shall petition to annex residential Tract (or Parcel Map)_____ into the City of Paso Robles Community Facilities District No. 2005-1 for the purposes of mitigation of impacts on the City's Police and Emergency Services Departments.
- 4. Street names shall be submitted for review and approval by the Planning Commission, prior to approval of the final map.
- 5. The following areas shall be permanently maintained by the property owner, Homeowners' Association, or other means acceptable to the City:

Exhibit B

ENGINEERING DIVISION- The applicant shall contact the Engineering Division, (805) 237-3860, for compliance with the following conditions:

All conditions marked are applicable to the above referenced project for the phase indicated.

C. PRIOR TO ANY PLAN CHECK:

- 1. The applicant shall enter into an Engineering Plan Check and Inspection Services Agreement with the City.

D. PRIOR TO ISSUANCE OF A GRADING PERMIT:

- 1. Prior to approval of a grading plan, the developer shall apply through the City, to FEMA and receive a Letter of Map Amendment (LOMA) issued from FEMA. The developer's engineer shall provide the required supporting data to justify the application.
- 2. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No. 553, Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to its removal.
- 3. A complete grading and drainage plan shall be prepared for the project by a registered civil engineer and subject to approval by the City Engineer. The project shall conform to the City's Storm Water Discharge Ordinance and Engineering Standard Details and Specifications.
- 4. A Soils and/or Geology Report providing technical specifications for grading of the site shall be prepared by a Geotechnical Engineer.
- 5. A Storm Water Pollution Prevention Plan per the State General Permit for Storm Water Discharges Associated with Construction Activity shall be provided for any site that disturbs greater than or equal to one acre, including projects that are less than one acre that are part of a larger plan of development or sale that would disturb more than one acre.

E. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

- 1. All off-site public improvement plans shall be prepared by a registered civil engineer and shall be submitted to the City Engineer for review and approval. The improvements shall be designed and placed to the Public Works Department Standards and Specifications.

Exhibit B

- 2. The applicant shall submit a composite utility plan signed as approved by a representative of each public utility.
- 3. Landscape and irrigation plans for the public right-of-way shall be incorporated into the improvement plans and shall require approval by the Streets Division Supervisor and the Community Development Department.
- 4. In a special Flood Hazard Area as indicated on a Flood Insurance Rate Map (FIRM) the owner shall provide an Elevation Certificate in accordance with the National Flood Insurance program. This form must be completed by a land surveyor or civil engineer licensed in the State of California.

F. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY OR RECORDATION OF THE FINAL MAP:

The Planning Commission has made a finding that the fulfillment of the construction requirements listed below are a necessary prerequisite to the orderly development of the surrounding area.

- 1. The applicant shall pay any current and outstanding fees for Engineering Plan Checking and Construction Inspection services.
- 2. All public improvements are completed and approved by the City Engineer.
- 3. The owner shall offer to dedicate and improve the following street(s) to the standard indicated:

Street Name	City Standard	Standard Drawing No.
-------------	---------------	----------------------

- 4. If, at the time of approval of the final map, any required public improvements have not been completed and accepted by the City the owner shall be required to enter into a Subdivision Agreement with the City in accordance with the Subdivision Map Act.

Bonds required and the amount shall be as follows:
Performance Bond.....100% of improvement costs.
Labor and Materials Bond.....50% of performance bond.

- 5. If the existing City street adjacent to the frontage of the project is inadequate for the traffic generated by the project, or will be severely damaged by the construction, the applicant shall excavate the entire structural section and replace it with a standard half-width street plus a 12' wide travel lane and 8' wide graded shoulder adequate to provide for two-way traffic.

Exhibit B

- 6. If the existing pavement and structural section of the City street adjacent to the frontage of the project is adequate, the applicant shall provide a new structural section from the proposed curb to the edge of pavement and shall overlay the existing paving to centerline for a smooth transition.
- 7. Due to the number of utility trenches required for this project, the City Council adopted Pavement Management Program requires a pavement overlay on _____ along the frontage of the project.
- 8. The applicant shall install all utilities. Streetlights shall be installed at locations as required by the City Engineer.
- 9. The owner shall offer to dedicate to the City the following easement(s). The location and alignment of the easement(s) shall be to the description and satisfaction of the City Engineer:
 - a. Public Utilities Easement;
 - b. Water Line Easement;
 - c. Sewer Facilities Easement;
 - d. Landscape Easement;
 - e. Storm Drain Easement.
- 10. The developer shall annex to the City's Landscape and Lighting District for payment of the operating and maintenance costs of the following:
 - a. Street lights;
 - b. Parkway/open space landscaping;
 - c. Wall maintenance in conjunction with landscaping;
 - d. Graffiti abatement;
 - e. Maintenance of open space areas.
- 11. For a building with a Special Flood Hazard Area as indicated on a Flood Insurance Rate Map (FIRM), the developer shall provide an Elevation Certificate in accordance with the National Flood Insurance Program. This form must be completed by a lands surveyor or civil engineer licensed in the State of California.
- 12. All final property corners shall be installed prior to final occupancy.
- 13. All areas of the project shall be protected against erosion by hydro seeding or landscaping.
- 14. All construction refuse shall be separated (i.e. concrete, asphalt concrete, wood gypsum board, etc.) and removed from the project in accordance with the City's Source Reduction and Recycling Element.

Exhibit B

- 15. Clear blackline mylars and paper prints of record drawings, signed by the engineer of record, shall be provided to the City Engineer prior to the final inspection. An electronic autocad drawing file registered to the California State Plane – Zone 5 / NAD83 projected coordinate system, units in survey feet, shall be provided.

PASO ROBLES DEPARTMENT OF EMERGENCY SERVICES- The applicant shall contact the Department of Emergency Services, (805) 227-7560, for compliance with the following conditions:

G. GENERAL CONDITIONS

- 1. Prior to the start of construction:
 - Plans shall be reviewed, approved and permits issued by Emergency Services for underground fire lines.
 - Applicant shall provide documentation to Emergency Services that required fire flows can be provided to meet project demands.
 - Fire hydrants shall be installed and operative to current, adopted edition of the California Fire Code.
 - A based access road sufficient to support the department's fire apparatus (HS-20 truck loading) shall be constructed and maintained for the duration of the construction phase of the project.
 - Access road shall be at least twenty (20) feet in width with at least thirteen (13) feet, six (6) inches of vertical clearance.

- 2. Provide central station monitored fire sprinkler system for all residential, commercial and industrial buildings that require fire sprinklers in current, adopted edition of the California Building Code, California Fire Code and Paso Robles Municipal Code.
 - Plans shall be reviewed, approved and permits issued by Emergency Services for the installation of fire sprinkler systems.

- 3. Provide central station monitored fire alarm system for all residential, commercial and industrial buildings that require fire alarm system in current, adopted edition of the California Building Code, California Fire Code and Paso Robles Municipal Code.

- 4. If required by the Fire Chief, provide on the address side of the building if applicable:
 - Fire alarm annunciator panel in weatherproof case.
 - Knox box key entry box or system.
 - Fire department connection to fire sprinkler system.

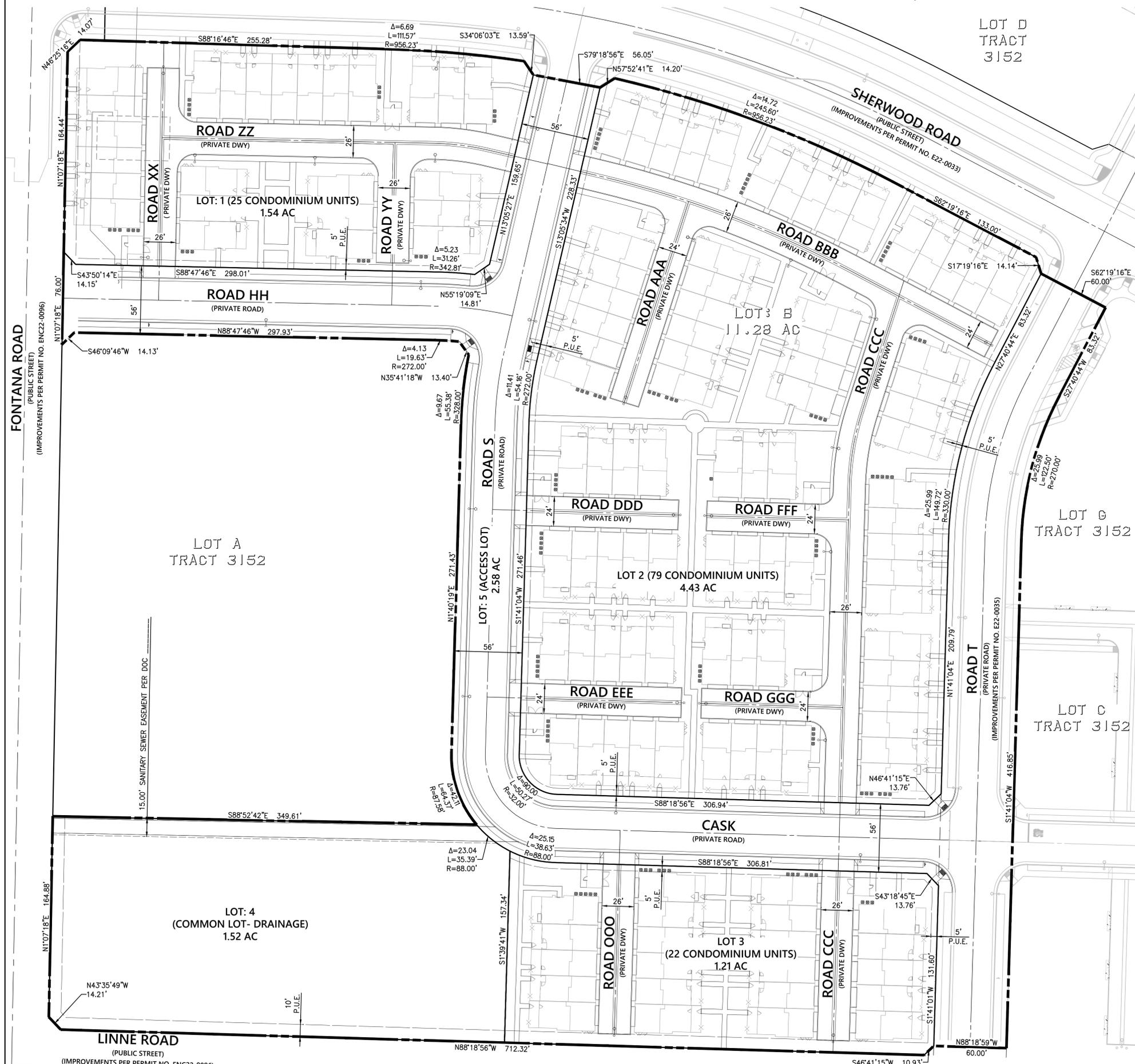
- 5. Provide temporary turn-around to current City Engineering Standard for phased construction streets that exceed 150 feet in length.

Exhibit B

6. Project shall comply with all requirements in current, adopted edition of California Fire Code and Paso Robles Municipal Code.
7. Prior to the issuance of Certificate of Occupancy:
 - Final inspections shall be completed on all underground fire lines, fire sprinkler systems, fire alarm systems and chemical hood fire suppression systems.
 - Final inspections shall be completed on all buildings.

VESTING TENTATIVE TRACT MAP NO. 3227

CITY OF EL PASO DE ROBLES, CA



LEGEND

- TRACT BOUNDARY - TRACT 3227
- CENTERLINE
- PUBLIC UTILITY EASEMENT
- LOT LINE
- NON-EXCLUSIVE PUBLIC ACCESS EASEMENT
- SEWER EASEMENT

PARCEL INFORMATION

PARCEL INFORMATION:
 APN: 025-382-002
 LEGAL DESCRIPTION: BEING A SUBDIVISION OF LOT B PER TRACT 3153, BOOK 40 OF MAPS, PAGE 50, IN THE COUNTY OF SAN LUIS OBISPO, CALIFORNIA.
 OWNER: OLSEN 212, LLC
 31103 RANCHO VEJO ROAD, #535
 SAN JUAN CAPISTRANO, CA 92675
 AREA: 11.28 ACRES (GROSS)
 10.39 ACRES (NET)
 NUMBER OF PROPOSED LOTS: 5 LOTS
 NUMBER OF PROPOSED UNITS (CONDOMINIUM): 126
 UTILITIES:
 WATER: CITY OF EL PASO DE ROBLES
 SEWER: CITY OF EL PASO DE ROBLES
 ELECTRICITY: P.G.& E
 NATURAL GAS: SOUTHERN CALIFORNIA GAS COMPANY
 TELEPHONE: A.T.&T.
 CABLE T.V.: CHARTER COMMUNICATIONS
 FIBER OPTIC: CITY OF EL PASO DE ROBLES

CONDOMINIUM MAP PROPOSED

THIS IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA, THE MAXIMUM NUMBER OF RESIDENTIAL CONDOMINIUM UNITS IS 131 AS FOLLOWS:

LOT#	ACREAGE	DESCRIPTION
1	1.54 AC	25 CONDOMINIUM UNITS
2	4.43 AC	79 CONDOMINIUM UNITS
3	1.21 AC	22 CONDOMINIUM UNITS
4	1.52 AC	COMMON AREA LOT (DRAINAGE)
5	2.58 AC	COMMON AREA LOT (PRIVATE ACCESS)
TOTAL	11.28 AC	

LOT DATA

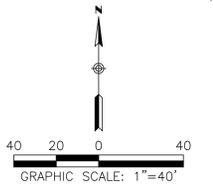
LOT#	ACREAGE	DESCRIPTION
1	1.54 AC	25 CONDOMINIUM UNITS
2	4.43 AC	79 CONDOMINIUM UNITS
3	1.21 AC	22 CONDOMINIUM UNITS
4	1.52 AC	COMMON AREA LOT (DRAINAGE)
5	2.58 AC	COMMON AREA LOT (PRIVATE ACCESS)
TOTAL	11.28 AC	

GENERAL NOTES

1. PROJECT PHASING SHALL BE CONSISTENT WITH THE DEVELOPMENT PHASING PLAN IN CHAPTER 5.8 OF THE VINEDO SPECIFIC PLAN DATED DECEMBER 2019.
2. THE SPECIFIC PLAN SHALL BE THE GUIDING DOCUMENT FOR THE DESIGN STANDARDS AND DEVELOPMENT OF THE PROJECT. THE CITY'S COMMUNITY DEVELOPMENT DIRECTOR OR CITY ENGINEER SHALL DETERMINE CONSISTENCY BETWEEN THE SPECIFIC PLAN, VESTING TENTATIVE TRACT MAPS, AND CONSTRUCTION DOCUMENTS.
3. REFER TO THE DEVELOPMENT AGREEMENT FOR RIGHT-OF-WAY ACQUISITIONS AND ABANDONMENTS.
4. ALL PRIVATE ACCESS ROADS DELINEATED HEREON SHALL ALSO BE A NON-EXCLUSIVE PUBLIC ACCESS, DRAINAGE, WATER, SEWER AND PUBLIC UTILITY EASEMENT.
5. BLANKET PUBLIC ACCESS, PUBLIC WATER, DRAINAGE, SEWER, AND PUBLIC UTILITY EASEMENT OVER LOTS 1-3, EXCEPT UNDER BUILDINGS AND PRIVATE YARDS.

VERTICAL BENCHMARK AND BASIS OF BEARING

1. THE HORIZONTAL DATUM FOR THIS SURVEY IS THE NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)), EPOCH DATE OF 2010.00.
2. THE PROJECTION USED IS THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83), ZONE 5 PROJECTION.
3. THIS SURVEY TIES TO 3 NATIONAL GEODETIC SURVEY (NGS) CONTINUOUSLY OPERATING REFERENCE STATION (CORS). THOSE STATIONS ARE THE NGS POINTS DESIGNATED "CRBT A 1", HAVING A PUBLISHED POSITION OF: NORTHING 5708342.54', EASTING 2309259.77" AND "MASW" HAVING A PUBLISHED POSITION OF: NORTHING 5767197.37, EASTING 2163030.39. THE RESULTING BEARING FROM "P523" TO "P280" BEING: S 61°45'31"W. THE BEARINGS SHOWN HEREON ARE REFERENCED TO CCS83, ZONE 5 GRID NORTH.
4. ALL MEASUREMENTS LISTED, SHOWN ARE REPRESENTED HEREON ARE BASED ON GRID DISTANCES OF THE CALIFORNIA COORDINATE SYSTEM OF 1983 ZONE 5 PROJECTION. THE COMBINED SCALE FACTOR FOR THE PROJECT IS 0.99999991 THIS SCALE FACTOR WAS CALCULATED USING AN ELEVATION OF 844.22 FEET FOR PT. NO. 100. DIVIDE THE DISTANCES HEREON BY THE COMBINED SCALE FACTOR TO OBTAIN GROUND DISTANCES. ALL DISTANCES SHOWN ARE U.S. SURVEY FEET
5. THE CONVERGENCE ANGLE IS: -1 50'33" AT PT. NO. 100.
6. THE ORTHOMETRIC HEIGHTS (ELEVATIONS) ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). THIS SURVEY TIED A USGS BENCHMARK DESIGNATED AS PT. NO FV2070, HAVING A PUBLISHED ELEVATION OF 737.00.
7. EXISTING TOPOGRAPHY CONTOURS AND PLANIMETRICS SUPPLIED BY THE CENTRAL COAST AERIAL MAPPING, INC. PHOTOGRAPHY DATE: 08-31-2018



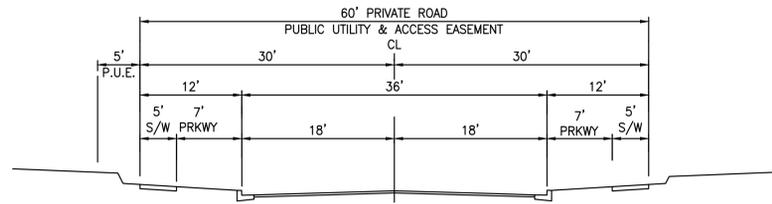
1160 MARSH STREET #150
 SAN LUIS OBISPO, CA 93401
 rickengineering.com
 SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO
 SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER



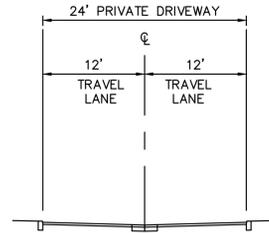
VESTING TENTATIVE TRACT MAP 3227
 CITY OF EL PASO DE ROBLES
 SUBDIVISION OF CHANDLER LOT B
VESTING TENTATIVE TRACT MAP



DRAWING NO. SHEET NO. 1 OF 8

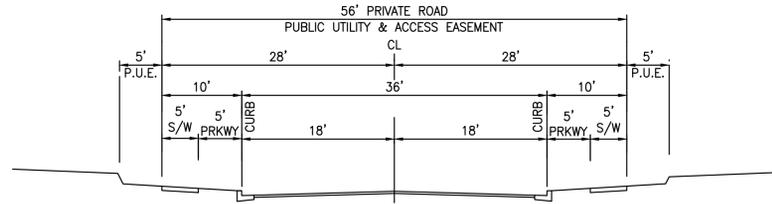


PRIVATE ROAD T SECTION
NTS

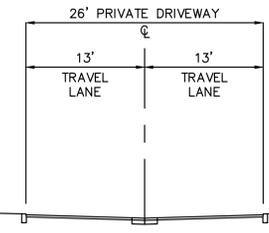


TYPICAL 24' PRIVATE DRIVEWAY SECTION
NTS
(ROADS AAA, DDD, EEE, FFF, GGG)

NOTE: PRIVATE DRIVEWAYS LIE WITHIN THE "BLANKET PUBLIC ACCESS PUBLIC WATER DRAINAGE SEWER AND PUBLIC UTILITY EASEMENTS OVER LOTS 1-3. EXCEPT UNDER BUILDINGS AND PRIVATE YARDS."

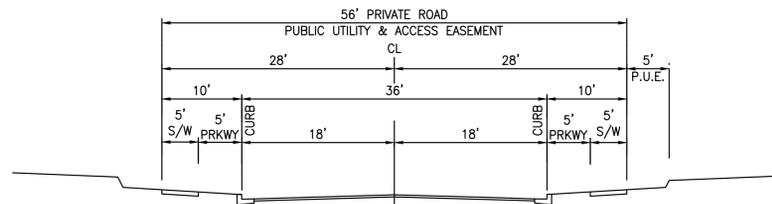


PRIVATE CASK STREET SECTION
NTS

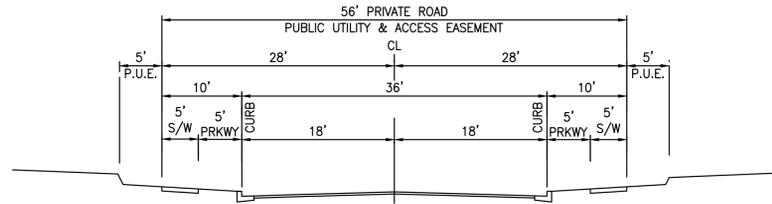


TYPICAL 26' PRIVATE DRIVEWAY SECTION
NTS
(ROADS BBB, CCC, OOO, XX, YY, ZZ)

NOTE: PRIVATE DRIVEWAYS LIE WITHIN THE "BLANKET PUBLIC ACCESS PUBLIC WATER DRAINAGE SEWER AND PUBLIC UTILITY EASEMENTS OVER LOTS 1-3. EXCEPT UNDER BUILDINGS AND PRIVATE YARDS."



PRIVATE ROAD HH SECTION
NTS



PRIVATE ROAD S SECTION
NTS



1160 MARSH STREET #150
SAN LUIS OBISPO, CA 93401

805-544-0707
rickengineering.com

RICK

SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO
SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER

PROJECT NO: 19356
DATE: 1/22/2025

DRAWN/DESIGNED BY: EJ/MM
CHECKED BY: KD

VESTING TENTATIVE TRACT
MAP 3227
CITY OF EL PASO DE ROBLES
SUBDIVISION OF CHANDLER LOT B

STREET SECTIONS



DRAWING NO.
SHEET NO. 2 OF 8

PRELIMINARY GRADING PLAN NOTES

- 1. FOR GRADING SECTIONS A-A AND B-B SEE SHEET 4
- 2. FOR STORM DRAIN PROFILES SEE SHEETS 6-8



1160 MARSH STREET #150
SAN LUIS OBISPO, CA 93401

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VESTING TENTATIVE TRACT
MAP 3227
CITY OF EL PASO DE ROBLES
SUBDIVISION OF CHANDLER LOT B

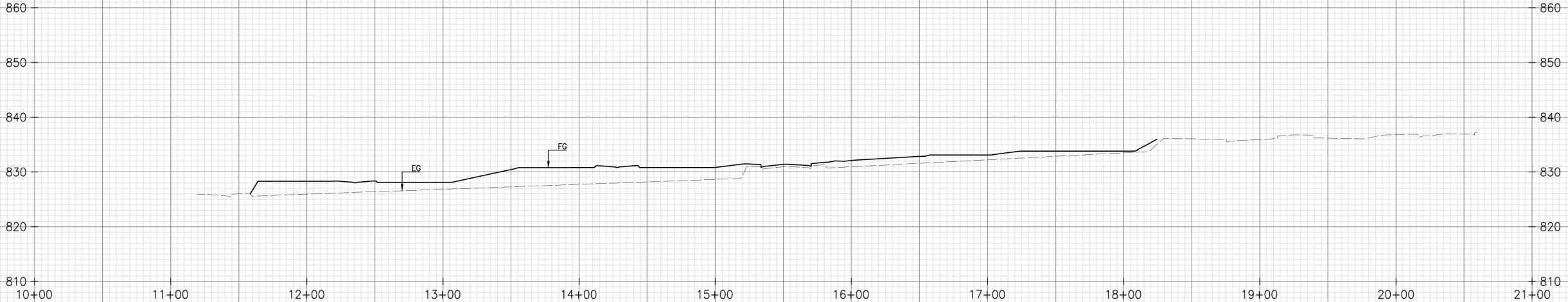


DRAWING NO.
SHEET NO. 3 OF 8

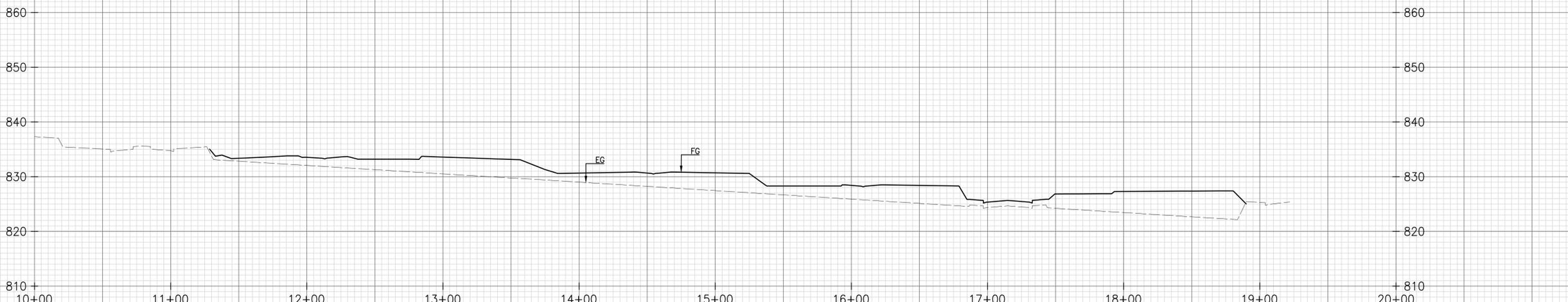
NO.	BY	DATE	REVISION

DRAWN/DESIGNED BY: EJ/MM
CHECKED BY: KD

PROJECT NO: 19356
DATE: 1/22/2025



SITE SECTION: A-A
 SCALE VERT: 1"=10'
 HORIZ: 1"=40'



SITE SECTION: B-B
 SCALE VERT: 1"=10'
 HORIZ: 1"=40'



1160 MARSH STREET #150
 SAN LUIS OBISPO, CA 93401

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SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO
 SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER

DRAWN/DESIGNED BY: EJ/MM
 CHECKED BY: KD

PROJECT NO: 19356
 DATE: 1/22/2025

VESTING TENTATIVE TRACT
MAP 3227
 CITY OF EL PASO DE ROBLES
 SUBDIVISION OF CHANDLER LOT B

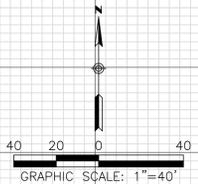
SITE SECTIONS



Know what's below.
 Call before you dig.

DRAWING NO.

SHEET NO. 4 OF 8

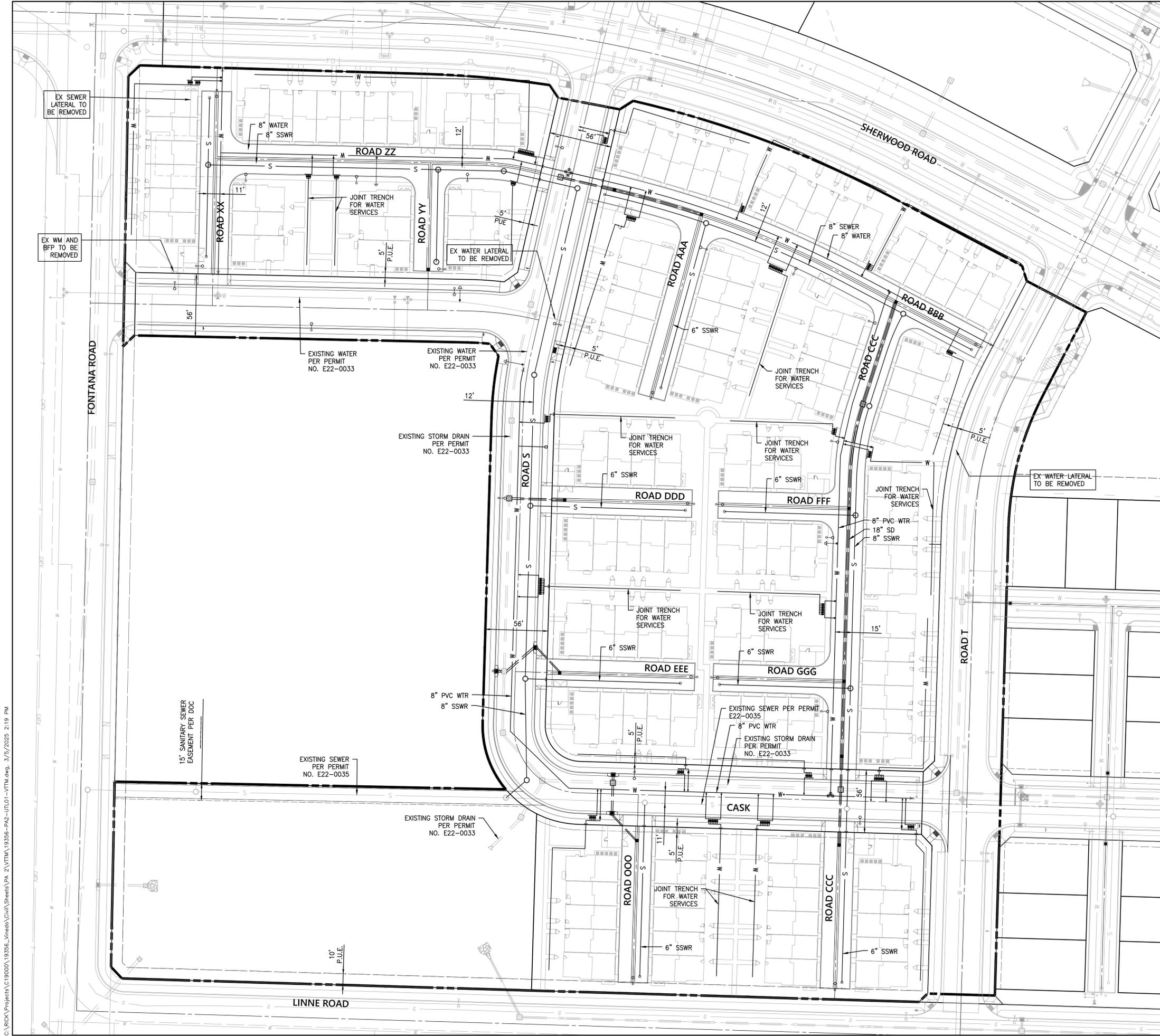


LEGEND

	PROPOSED WATER
	PROPOSED SEWER
	PROPOSED JOINT TRENCH FOR WATER SERVICES
	PROPOSED STORM DRAIN
	PROPOSED CATCH BASIN
	PROPOSED STORM DRAIN CLEANOUT
	PROPOSED SEWER MANHOLE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER METERS
	PROPOSED ST. LIGHT

PRELIMINARY UTILITY PLAN NOTES

- FOR UTILITY PROFILES SEE SHEETS 6-8

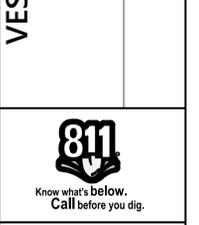


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VESTING TENTATIVE TRACT
MAP 3227
CITY OF EL PASO DE ROBLES
SUBDIVISION OF CHANDLER LOT B

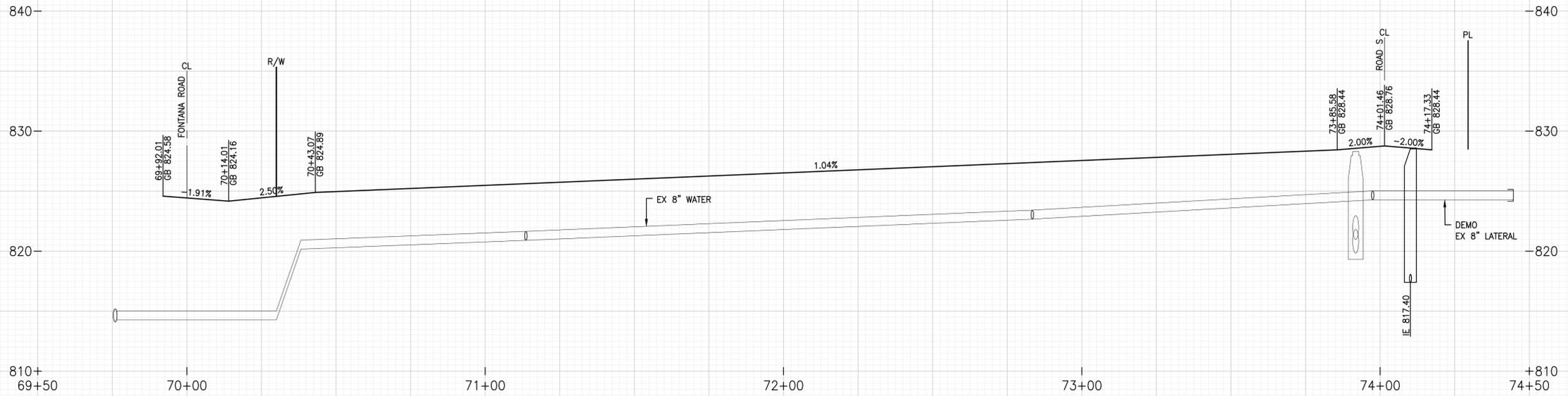


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SHEET NO. 5 OF 8

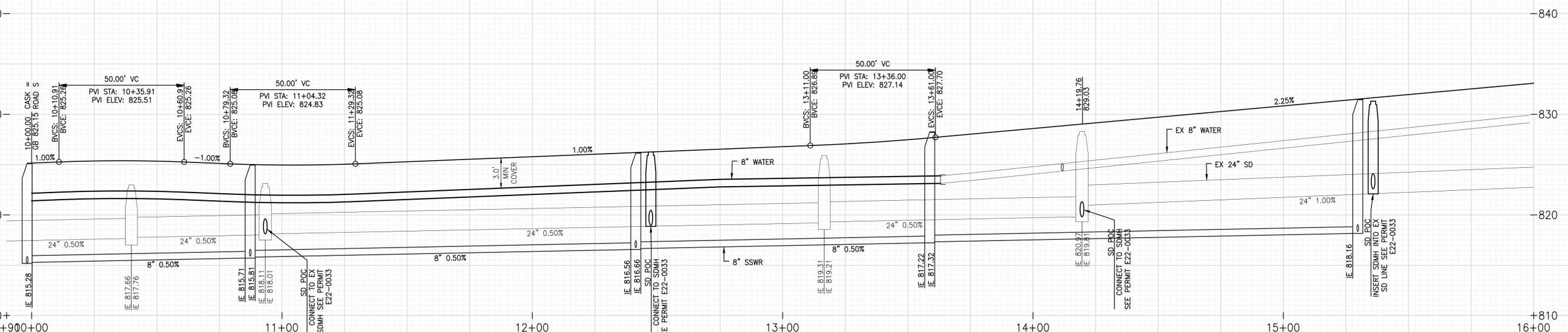
NO.	BY	DATE	REVISION

PROJECT NO: 19356
DATE: 3/5/2025

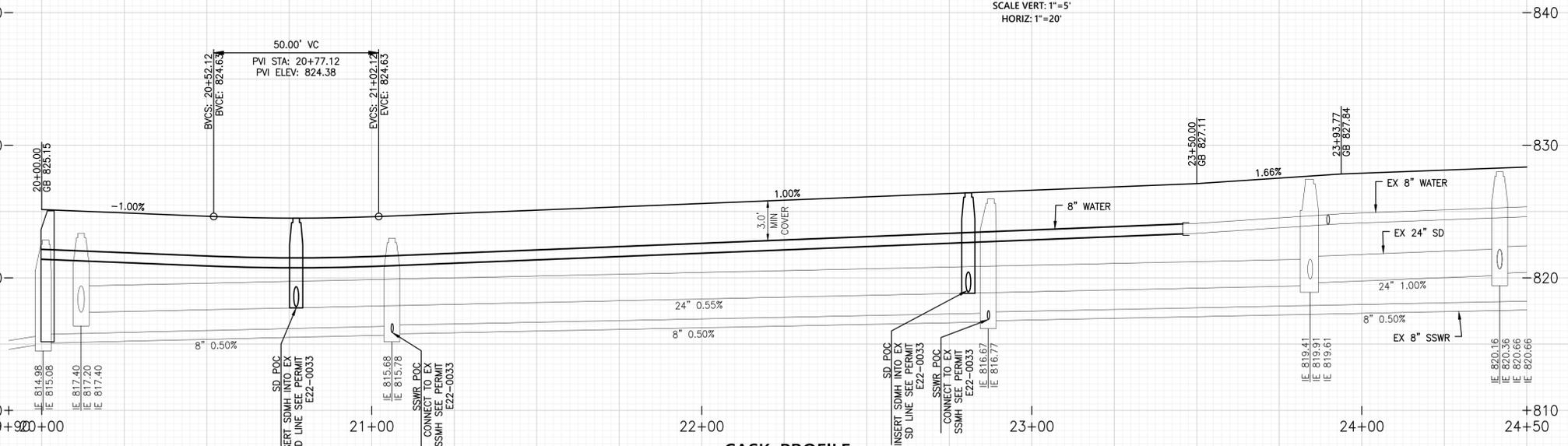
DRAWN/DESIGNED BY: EJ/MM
CHECKED BY: KD



ROAD HH: PROFILE
SCALE VERT: 1"=5'
HORIZ: 1"=20'



ROAD S: PROFILE
SCALE VERT: 1"=5'
HORIZ: 1"=20'



CASK: PROFILE
SCALE VERT: 1"=5'
HORIZ: 1"=20'



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SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER

PROJECT NO: 19356
DATE: 1/22/2025

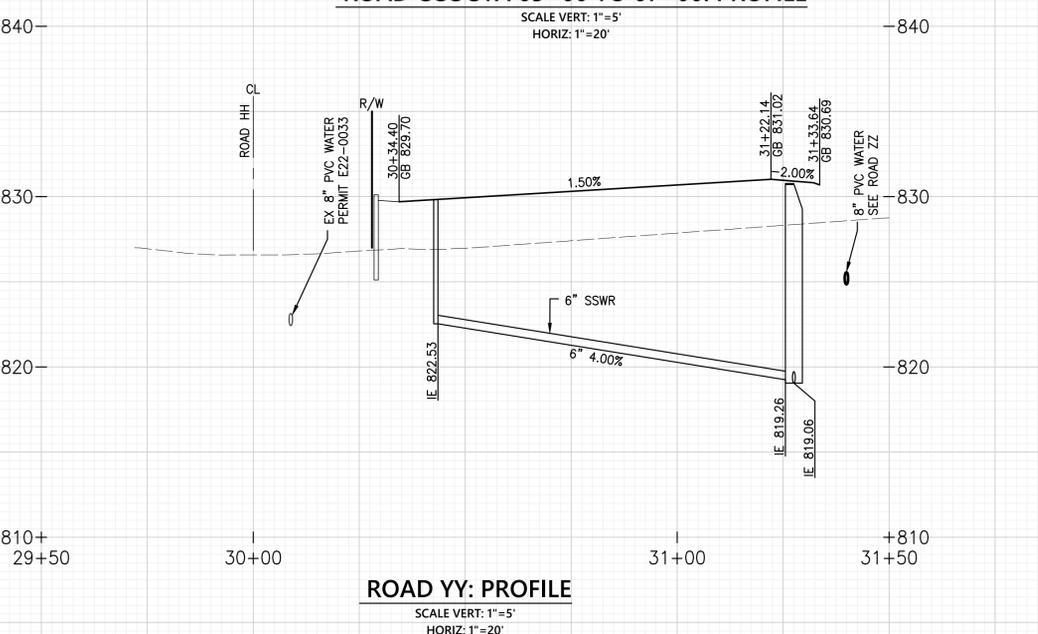
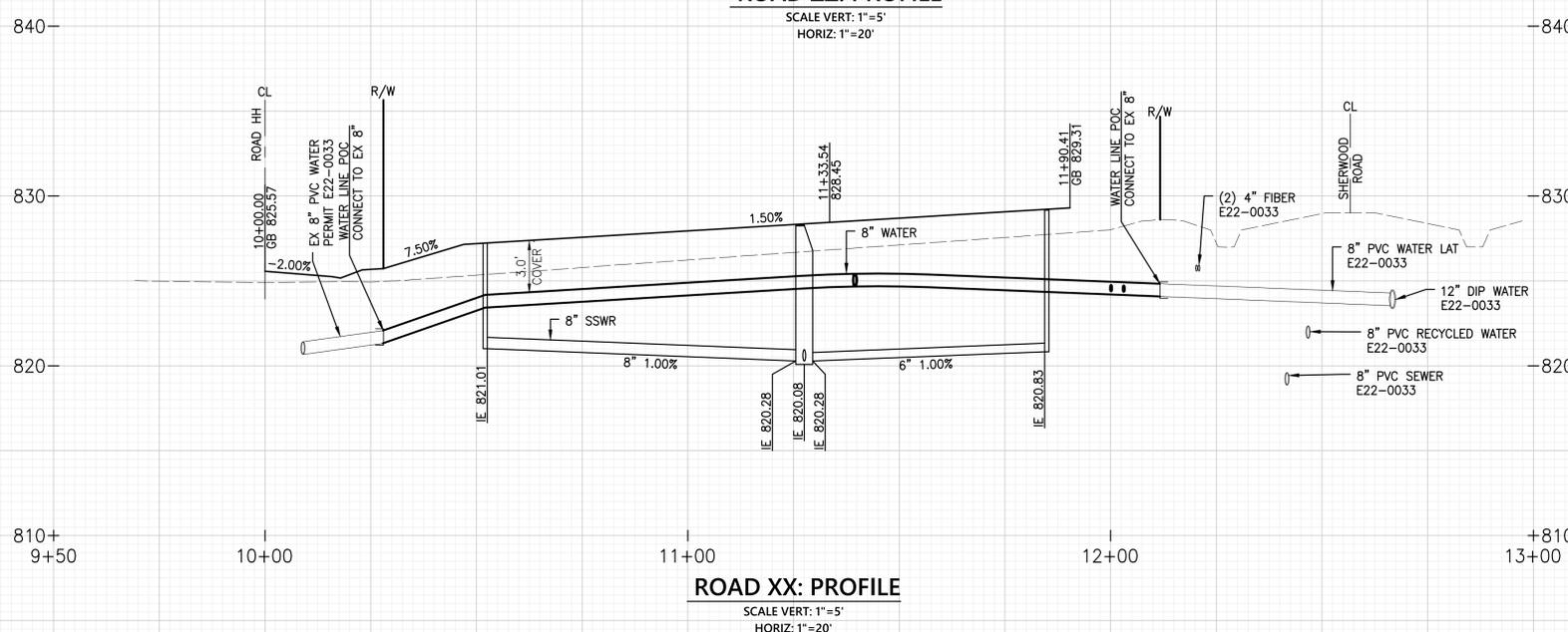
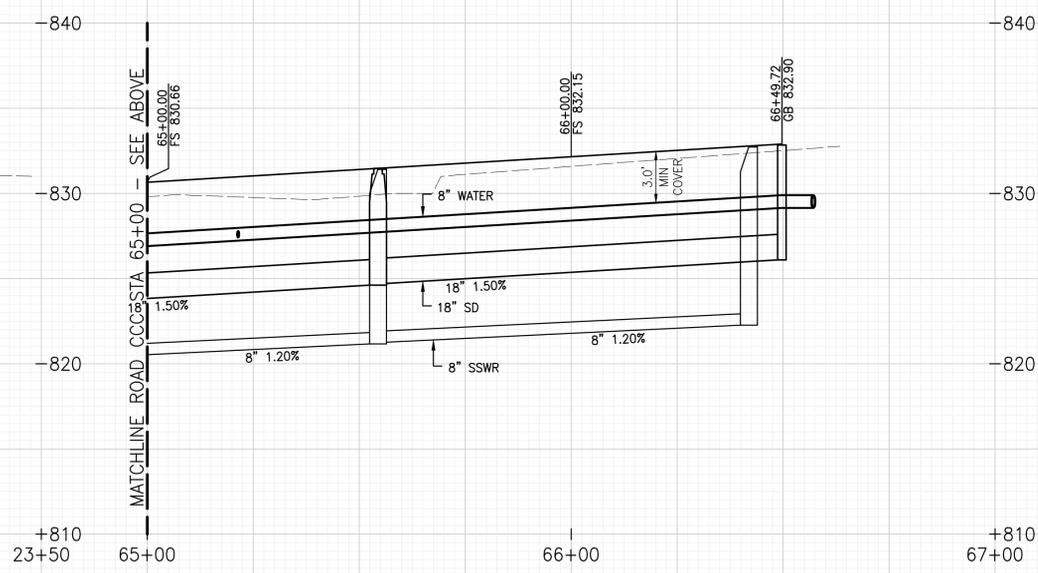
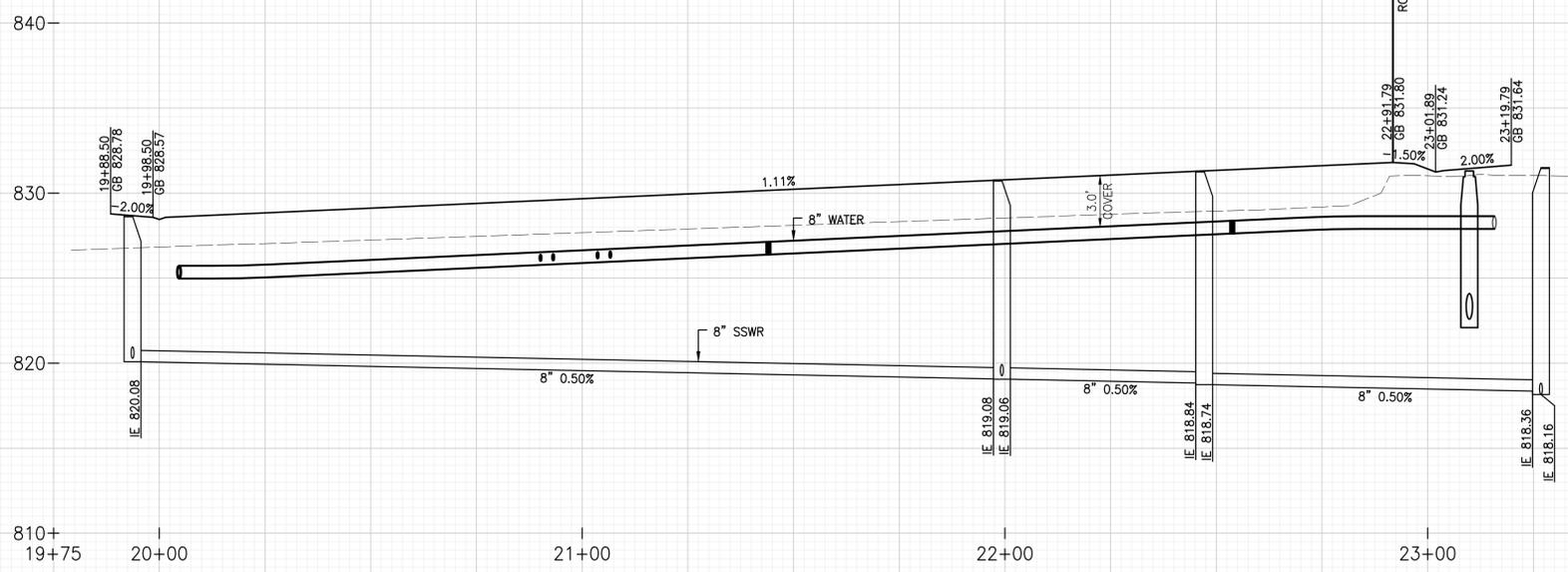
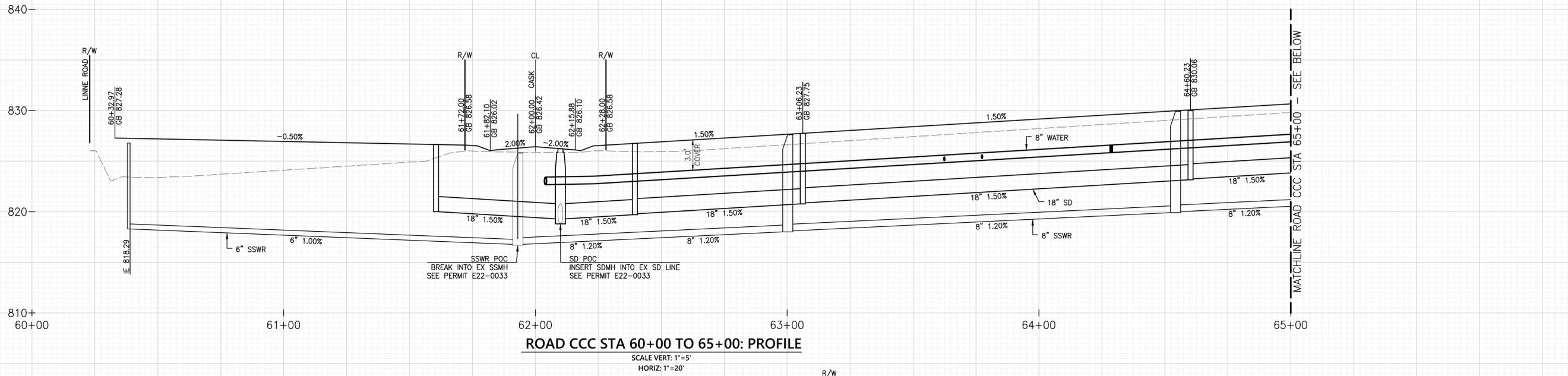
DRAWN/DESIGNED BY: EJ/MM
CHECKED BY: KD

VESTING TENTATIVE TRACT
MAP 3227
CITY OF EL PASO DE ROBLES
SUBDIVISION OF CHANDLER LOT B

UTILITY PROFILES

DRAWING NO.
SHEET NO. 6 OF 8

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VESTING TENTATIVE TRACT
MAP 3227
 CITY OF EL PASO DE ROBLES
 SUBDIVISION OF CHANDLER LOT B

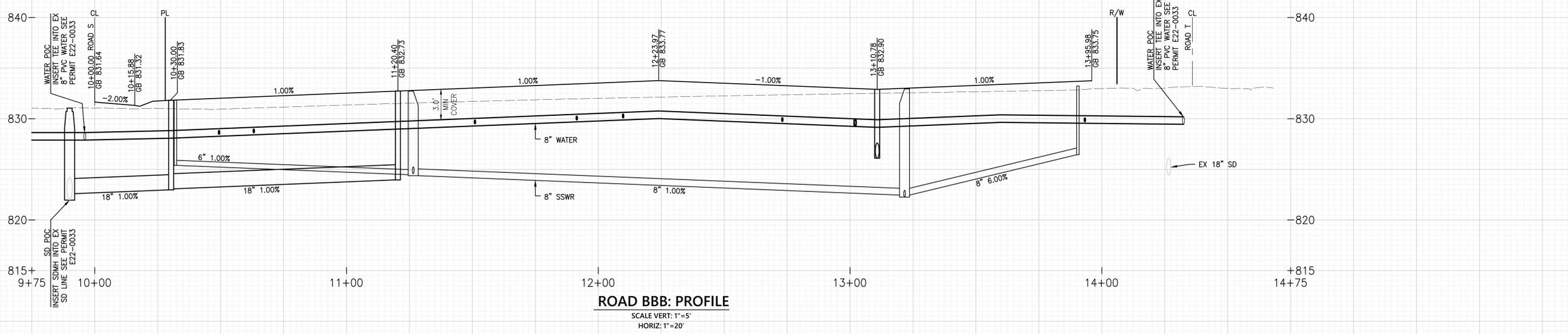
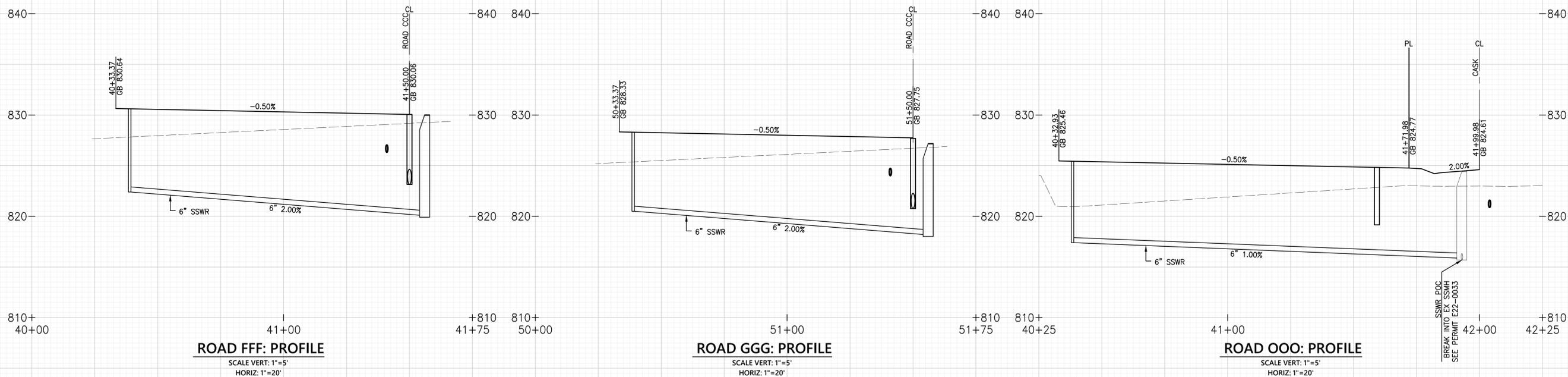
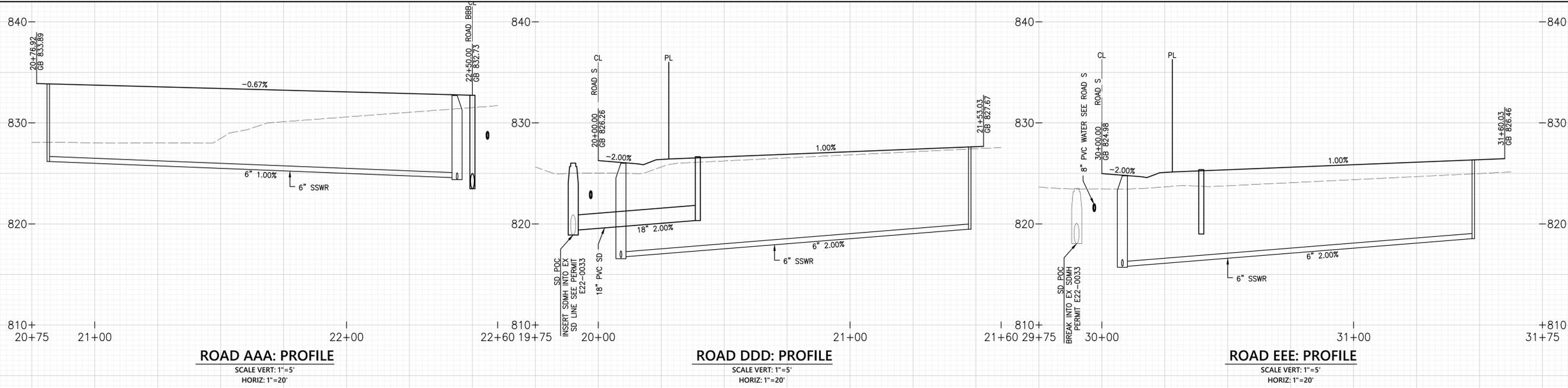


DRAWING NO. SHEET NO. 7 OF 8

NO.	BY	DATE	REVISION

PROJECT NO: 19356
 DATE: 1/22/2025
 DRAWN/DESIGNED BY: EJ/MM
 CHECKED BY: KD

UTILITY PROFILES



NO.	BY	DATE	REVISION



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SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER

PROJECT NO: 19356
DATE: 1/22/2025

DRAWN/DESIGNED BY: EJ/MM
CHECKED BY: KD

VESTING TENTATIVE TRACT
MAP 3227
CITY OF EL PASO DE ROBLES
SUBDIVISION OF CHANDLER LOT B

UTILITY PROFILES

DRAWING NO.
SHEET NO. 8 OF 8

VTTM 3227 Project Street Name List

1. Mylah
2. Lucy
3. Rhett
4. Brynn
5. Brittni
6. Jaden
7. Summer
8. Brose
9. Shelly
10. Sweet Shade
11. Brillante
12. Manzano
13. Cougar

Attachment 3

Draft Resolution B

RESOLUTION PC 25-XXX

**A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
APPROVING PLANNED DEVELOPMENT 25-01 AS PART OF THE
OLSEN RANCH AND SOUTH CHANDLER RANCH SPECIFIC PLAN AREA 2**

**APPLICANT – OLSEN RANCH 212, LLC
APNs: 025-382-002**

WHEREAS, the Olsen-South Chandler Specific Plan (“Specific Plan” or “SP”) was approved by the City Council on February 20, 2020, the SP document can be found [here](#). The intent of the SP is to serve as a comprehensive guide to development of the 358-acre, 1,293 residential unit specific plan, located on the southeast side of the City, adjacent to the unincorporated San Luis Obispo County land; and

WHEREAS, as part of the approvals of the SP, Vesting Tentative Tract Map (VTTM) 3153 was approved, subdividing the various planning areas (“PA”) to accommodate the 1,293 residential units. Planning Area 2 was included in VTTM 3153, which approved 108-condominium units spread out over 4 lots; and

WHEREAS, since the approval of VTTM 3153, Olsen Ranch 212, LLC (the “Applicant”) has submitted VTTM 3227 proposing a new tentative map that would accommodate a total of 126-condominium units for PA-2; and

WHEREAS, in conjunction with VTTM 3227, the Applicant has submitted Planned Development 25-01 (“PD 25-01”), which provides the overall site planning for the tract, architecture, colors/materials palette, conceptual landscaping, which are found to be consistent with the development standards that were originally approved with the SP (the “Project”); and

WHEREAS, VTTM 3227 also includes the transfer of 18 units from Planning Area 10 (“Our Town” or “PA 10”). SP Policy 2.1.6. allows density transfers from one planning area to another within the Specific Plan, as long as the overall unit count of 1,293 units is not exceed for the entire Specific Plan area; and

WHEREAS, the Development Review Committee (“DRC”) reviewed the Project at their meeting on January 27, 2025; and

WHEREAS, a Final Environmental Impact Report (“EIR”) was previously prepared for the Olsen-South Chandler Specific Plan and adopted by the City. The proposed Vesting Tentative Tract Map does not require additional review under CEQA pursuant to Public Resources Code section 21166 and CEQA Guidelines section 15162 and 15182, as no subsequent or supplemental EIR is required, because no “substantial changes” to the Project or to the circumstances under which the Project was undertaken

are proposed, and there are no “new significant environmental effects” or a “substantial increase in the severity of previously identified significant effects” under the existing EIR; and

WHEREAS, a duly noticed hearing was conducted on April 8, 2025 to allow the Planning Commission to consider the facts in the staff report prepared, and to accept public testimony regarding Planned Development 25-01.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Paso Robles, as follows:

Section 1. Recitals. The Planning Commission hereby finds that the foregoing recitals are true and correct and are incorporated herein as substantive findings of this Resolution.

Section 2. Compliance with the California Environmental Quality Act. A Final Environmental Impact Report (EIR) was previously prepared and adopted per City Council Resolution 20-024 for the Olsen-South Chandler Specific Plan that analyzed the proposed Project’s environmental impacts pursuant to CEQA (SCH No. 2019011065). The proposed Vesting Tentative Tract Map does not require additional review under CEQA pursuant to Public Resources Code section 21166 and CEQA Guidelines section 15162 and 15182, as no subsequent or supplemental EIR is required, because no “substantial changes” to the Project or to the circumstances under which the Project was undertaken are proposed, and there are no “new significant environmental effects” or a “substantial increase in the severity of previously identified significant effects” under the existing EIR. The Planning Commission finds that this Project is within the scope of the EIR, which adequately describes the activity for the purposes of CEQA such that no additional environmental assessment is required.

Section 3. Findings for Approval of Planned Development 25-01. Based on the facts and analysis presented to it, including all written and oral testimony and staff presentations, and subject to the Conditions of Approval and attachments hereto, the Planning Commission finds as follows:

1. The design and intensity (density) of the proposed project is consistent with the following:
 - a. The goals and policies established by the General Plan, as the project would assist the City in meeting its Regional Housing Needs Allocation pursuant to its adopted Housing Element;
 - b. The policies and development standards established by any applicable Specific Plan, Special Planned Development, or Master Development Plan, as the project would create contextually appropriate homes for a variety of home-buyers pursuant to the Olsen – South Chandler Ranch Specific Plan, and meets the development standards defined by the Specific Plan;
 - c. The Zoning Code, including the purpose and intent of the zoning districts in which a development project is located as well as applicable design and development standards, as this is a residentially zoned property and will provide 126 new residential units at an appropriate density; and
 - d. All other adopted codes, policies, standards, and plans of the City, including design guidelines adopted by Resolution by the Planning Commission, since the architecture, massing, colors and materials palette, and fencing and landscaping for this project are all consistent with the specific plan’s design guidelines, which were established via City Council Resolution 20-026.

2. The proposed project will not be detrimental to the public health, safety, or welfare, or be injurious to property or other improvements in the vicinity, as the project is a well-designed residential project that conforms to the specific plan.

3. The proposed project accommodates the aesthetic quality of the City as a whole, especially where development will be visible from gateways to the City and scenic corridors and contributes to the orderly development of the City as a whole, because the project uses a mixture of quality materials and quality landscaping. Further, the orientation of the garage doors which are only accessible from the private alleys fosters a more prominent pedestrian experience along the main roads, contributing the creation of more walkable neighborhoods.

4. The proposed project is compatible with, and is not detrimental to, surrounding land uses and improvements, provides appropriate visual appearance, and contributes to the mitigation of any environmental and social (such as privacy) impacts, based on the new site and frontage improvements required as part of this project which will provide aesthetic improvements to this area. Additionally, the project is compatible with existing zoning the site, as PA 2 is designated in the Olsen-South Chandler Ranch Specific Plan for high-density residential development; PA 1, to the east of PA 2, is also designated for high-density residential; PA 3, to the west of PA 2, is designated for medium-density residential development; and PA 4, to the north of PA 2, is designated for low-density residential development.

5. The proposed Development Plan is compatible with existing scenic and environmental resources such as hillsides, stream courses, oak trees, vistas, historic buildings and structures, and the addition of planting street trees will increase the site's scenic value.

Section 4: Approval. The Planning Commission does approve Planned Development 25-01, subject to the following:

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
A	Site-Specific Conditions of Approval
B	Standard Conditions of Approval
C	Architectural Site Plan
D	Street Scenes
E.1-E.2	Perspective Renderings
F.1-F.10	Townhome Building Elevations
G.1-G.8	Townhome Building Floor Plans
H.1-H.5	Individual Unit Floor Plans
I.1-I.2	Colors and Materials Board
J.1-J.2	Trash Enclosure Details
K.1-K.2	Landscape Plan

PASSED AND ADOPTED THIS 8th day of April 2025 by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

ROBERT COVARRUBIAS, CHAIRPERSON

ATTEST:

WARREN FRACE, PLANNING COMMISSION SECRETARY

Exhibit A - Site-Specific Conditions of Approval
Exhibit B -Standard Conditions of Approval
Exhibit C- Architectural Site Plan
Exhibit D -Street Scenes
Exhibit E.1-E.2 -Perspective Renderings
Exhibit F.1-F.10 -Townhome Building Elevations
Exhibit G.1-G.8 -Townhome Building Floor Plans
Exhibit H.1-H.5 -Individual Unit Floor Plans
Exhibit I.1-I.2 -Colors and Materials Board
Exhibit J.1-J.2 -Trash Enclosure Details
Exhibit K.1-K.2 -Landscape Plan

Project Conditions (Planned Development 25-01)

1. The applicant/developer shall comply with those standard conditions which are indicated as applicable in "Exhibit B" to this resolution. When future applications are submitted to the City for development of the newly created lots, additional site-specific conditions will apply. Note: All checked standard conditions shall apply unless superseded by a site-specific condition.
2. The project shall be constructed so as to substantially conform with the following listed exhibits and conditions established by this resolution:

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
A	Site-Specific Conditions of Approval
B	Standard Conditions of Approval
C	Architectural Site Plan
D	Street Scenes
E.1-E.2	Perspective Renderings
F.1-F.10	Townhome Building Elevations
G.1-G.8	Townhome Building Floor Plans
H.1-H.5	Individual Unit Floor Plans
I.1-I.2	Colors and Materials Board
J.1-J.2	Trash Enclosure Details
K.1-K.2	Landscape Plan

3. Tentative Tract Map 3227 coincides with Planned Development 25-01 and authorizes the subdivision of Planning Area 2 of the Olsen South Chandler Ranch Specific Plan for the creation of a 126-unit condominium map, where Lots 1, 2, and 3 are for the purpose of condominium units, and Lots 4 and 5 are for the purpose of common area lots for drainage and private access, respectively.
4. The Final Subdivision Map shall be in substantial compliance with the tentative tract map.
5. Approval of this project is valid for a period of two (2) years from date of approval. Unless the VTTM 3227 is recorded or construction permits have been issued and site work has begun, the approval of VTTM 3227 and Planned Development 25-01 shall expire on April 8, 2027. The Planning Commission may extend this expiration date if a Time Extension application has been filed with the City along with the fees before the expiration date.
6. Any condition imposed by the Planning Commission in approving this Development Plan may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the granting of the original permit. No such modification shall be made unless the Commission finds that

Exhibit A

such modification is necessary to protect the public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use under the Development Plan.

PLANNING SITE SPECIFIC CONDITIONS:

7. Prior to issuance of a building permit, the following shall be reviewed and approved by the Staff:
 - a. Overall site landscaping, irrigation and fencing plans. This plan needs to indicate what is maintained by HOA and what is maintained by individual property owner;
 - b. Individual lot landscape and irrigation plans for all front yards;
 - c. Fencing/wall plans (fencing styles and types shall be consistent with the fencing outlined in the OSCSP);
 - d. Site lighting plans including decorative pole lights, and wall mounted light fixtures; and
 - e. Utility plan and screening plan (both overall site and individual lot) that shows location of equipment such as but not limited to electrical transformers, HVAC equipment, water back flow devices.

Exhibit B

CITY OF EL PASO DE ROBLES STANDARD DEVELOPMENT CONDITIONS

Planned Development 25-01 Conditional Use Permit

Tentative Parcel Map Tentative Tract Map 3227

Approval Body: Planning Commission Date of Approval: April 8, 2025

Applicant: Olsen 212, LLC Location: Southeast corner of Niblick Road and Fontana Road

APN: 025-382-002

The following conditions that have been checked are standard conditions of approval for the above referenced project. The checked conditions shall be complied with in their entirety before the project can be finalized, unless otherwise specifically indicated. In addition, there may be site specific conditions of approval that apply to this project in the resolution.

COMMUNITY DEVELOPMENT DEPARTMENT - The applicant shall contact the Community Development Department, (805) 237-3970, for compliance with the following conditions:

A. GENERAL CONDITIONS – PD 25-01:

- 1. This project approval shall expire on April 8, 2027, unless a time extension request is filed with the Community Development Department, or a State mandated automatic time extension is applied prior to expiration.
- 2. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Planned Development process shall not waive compliance with any sections of the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
- 3. To the extent allowable by law, Owner agrees to hold City harmless from costs and expenses, including attorney's fees, incurred by City or held to be the liability of City in connection with City's defense of its actions in any proceeding brought in any State or Federal court challenging the City's actions with respect to the project. Owner understands and acknowledges that City is under no obligation to defend any legal actions challenging the City's actions with respect to the project.
- 4. Any site-specific condition imposed by the Planning Commission in approving this project (**Planned Development 25-01**) may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the approval of this project. No

Exhibit B

such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use for this approval.

- 5. The site shall be kept in a neat manner at all times and the landscaping shall be continuously maintained in a healthy and thriving condition.
- 6. All signs shall be subject to review and approval as required by Municipal Code Section 21.52 and shall require a separate application and approval prior to installation of any sign.
- 7. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 8. Prior to the issuance of a Building Permit a landscape and irrigation plan consistent with the Landscape and Irrigation Ordinance, shall be submitted for City review and approval. The plan needs to be designed in a manner that utilizes drought tolerant plants, trees and ground covers and minimizes, if not eliminates the use of turf. The irrigation plan shall utilize drip irrigation and limit the use of spray irrigation. All existing and/or new landscaping shall be installed with automatic irrigation systems.
- 9. A reciprocal parking and access easement and agreement for site access, parking, and maintenance of all project entrances, parking areas, landscaping, hardscape, common open space, areas and site lighting standards and fixtures, shall be recorded prior to or in conjunction with the Final Map. Said easement and agreement shall apply to all properties, and be referenced in the site Covenants, Conditions and Restrictions (CC&Rs).
- 10. All outdoor storage shall be screened from public view by landscaping and walls or fences per Section 21.69.170 of the Municipal Code.
- 11. For commercial, industrial, office or multi-family projects and/or townhome projects, all refuse enclosures are required to provide adequate space for recycling bins. The enclosure shall be architecturally compatible with the primary building. Gates shall be view obscuring and constructed of durable materials. Check with Paso Robles Waste Disposal to determine the adequate size of enclosure based on the number and size of containers to be stored in the enclosure.
- 12. For commercial, industrial, office or multi-family projects and/or townhome projects, all existing and/or new ground-mounted appurtenances such as air-conditioning condensers, electrical transformers, backflow devices etc., shall be

Exhibit B

screened from public view through the use of decorative walls and/or landscaping subject to approval by the Zoning Administrator or his designee. Details shall be included in the building plans.

- 13. All existing and/or new roof appurtenances such as air-conditioning units, grease hoods, etc. shall be screened from public view. The screening shall be architecturally integrated with the building design and constructed of compatible materials to the satisfaction of the Zoning Administrator or his designee. Details shall be included in the building plans.
- 14. All existing and/or new lighting shall be shielded so as to be directed downward in such a manner as to not create off-site glare or adversely impact adjacent properties, per Section 21.69.170 of the Municipal Code. The style, location and height of the lighting fixtures shall be submitted with the building plans and shall be subject to approval by the Zoning Administrator or his designee.
- 15. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 16. It is the property owner's responsibility to insure that all construction of private property improvements occur on private property. It is the owner's responsibility to identify the property lines and insure compliance by the owner's agents.
- 17. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No.835 N.S., Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to removal.
- 18. No storage of trash cans or recycling bins shall be permitted within the public right-of-way.
- 19. Prior to recordation of the map or prior to occupancy of a project, all conditions of approval shall be completed to the satisfaction of the City Engineer and Community Developer Director or his designee.
- 20. Two sets of the revised Planning Commission approved plans incorporating all Conditions of Approval, standard and site specific, shall be submitted to the Community Development Department prior to the issuance of building permits.

Exhibit B

- 21. Prior to the issuance of building permits, the
 - Development Review Committee shall approve the following:
 - Planning Division Staff shall approve the following:
 - a. A screening plan for trash enclosures and HVAC equipment;
 - b. A detailed landscape and fencing plan consistent with the Olsen Specific Plan standards;
 - c. Lighting plan, consistent with the Olsen Specific Plan standards;
 - d. Signage plan
 - e. Other: See Site Specific Conditions for additional requirements.

B. GENERAL CONDITIONS – TRACT/PARCEL MAP:

- 1. In accordance with Government Section 66474.9, the subdivider shall defend, indemnify and hold harmless the City, or its agent, officers and employees, from any claim, action or proceeding brought within the time period provided for in Government Code section 66499.37, against the City, or its agents, officers, or employees, to attack, set aside, void, annul the City's approval of this subdivision. The City will promptly notify subdivider of any such claim or action and will cooperate fully in the defense thereof.
- 2. The Covenants, Conditions, and Restrictions (CC&Rs) and/or Articles Affecting Real Property Interests are subject to the review and approval of the Community Development Department, the Public Works Department and/or the City Attorney. They shall be recorded concurrently with the Final Map or prior to the issuance of building permits, whichever occurs first. A recorded copy shall be provided to the affected City Departments.
- 3. The owner shall petition to annex residential Tract (or Parcel Map)_____ into the City of Paso Robles Community Facilities District No. 2005-1 for the purposes of mitigation of impacts on the City's Police and Emergency Services Departments.
- 4. Street names shall be submitted for review and approval by the Planning Commission, prior to approval of the final map.
- 5. The following areas shall be permanently maintained by the property owner, Homeowners' Association, or other means acceptable to the City:

ENGINEERING DIVISION- The applicant shall contact the Engineering Division, (805) 237-3860, for compliance with the following conditions:

Exhibit B

All conditions marked are applicable to the above referenced project for the phase indicated.

C. PRIOR TO ANY PLAN CHECK:

- 1. The applicant shall enter into an Engineering Plan Check and Inspection Services Agreement with the City.

D. PRIOR TO ISSUANCE OF A GRADING PERMIT:

- 1. Prior to approval of a grading plan, the developer shall apply through the City, to FEMA and receive a Letter of Map Amendment (LOMA) issued from FEMA. The developer's engineer shall provide the required supporting data to justify the application.
- 2. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No. 553, Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to its removal.
- 3. A complete grading and drainage plan shall be prepared for the project by a registered civil engineer and subject to approval by the City Engineer. The project shall conform to the City's Storm Water Discharge Ordinance and Engineering Standard Details and Specifications.
- 4. A Soils and/or Geology Report providing technical specifications for grading of the site shall be prepared by a Geotechnical Engineer.
- 5. A Storm Water Pollution Prevention Plan per the State General Permit for Storm Water Discharges Associated with Construction Activity shall be provided for any site that disturbs greater than or equal to one acre, including projects that are less than one acre that are part of a larger plan of development or sale that would disturb more than one acre.

E. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

- 1. All off-site public improvement plans shall be prepared by a registered civil engineer and shall be submitted to the City Engineer for review and approval. The improvements shall be designed and placed to the Public Works Department Standards and Specifications.
- 2. The applicant shall submit a composite utility plan signed as approved by a

Exhibit B

representative of each public utility.

- 3. Landscape and irrigation plans for the public right-of-way shall be incorporated into the improvement plans and shall require approval by the Streets Division Supervisor and the Community Development Department.
- 4. In a special Flood Hazard Area as indicated on a Flood Insurance Rate Map (FIRM) the owner shall provide an Elevation Certificate in accordance with the National Flood Insurance program. This form must be completed by a land surveyor or civil engineer licensed in the State of California.

F. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY OR RECORDATION OF THE FINAL MAP:

The Planning Commission has made a finding that the fulfillment of the construction requirements listed below are a necessary prerequisite to the orderly development of the surrounding area.

- 1. The applicant shall pay any current and outstanding fees for Engineering Plan Checking and Construction Inspection services.
- 2. All public improvements are completed and approved by the City Engineer.
- 3. The owner shall offer to dedicate and improve the following street(s) to the standard indicated:

Street Name	City Standard	Standard Drawing No.
-------------	---------------	----------------------

- 4. If, at the time of approval of the final map, any required public improvements have not been completed and accepted by the City the owner shall be required to enter into a Subdivision Agreement with the City in accordance with the Subdivision Map Act.

Bonds required and the amount shall be as follows:
Performance Bond.....100% of improvement costs.
Labor and Materials Bond.....50% of performance bond.

- 5. If the existing City street adjacent to the frontage of the project is inadequate for the traffic generated by the project, or will be severely damaged by the construction, the applicant shall excavate the entire structural section and replace it with a standard half-width street plus a 12' wide travel lane and 8' wide graded shoulder adequate to provide for two-way traffic.
- 6. If the existing pavement and structural section of the City street adjacent to the

Exhibit B

frontage of the project is adequate, the applicant shall provide a new structural section from the proposed curb to the edge of pavement and shall overlay the existing paving to centerline for a smooth transition.

- 7. Due to the number of utility trenches required for this project, the City Council adopted Pavement Management Program requires a pavement overlay on _____ along the frontage of the project.
- 8. The applicant shall install all utilities. Streetlights shall be installed at locations as required by the City Engineer.
- 9. The owner shall offer to dedicate to the City the following easement(s). The location and alignment of the easement(s) shall be to the description and satisfaction of the City Engineer:
 - a. Public Utilities Easement;
 - b. Water Line Easement;
 - c. Sewer Facilities Easement;
 - d. Landscape Easement;
 - e. Storm Drain Easement.
- 10. The developer shall annex to the City's Landscape and Lighting District for payment of the operating and maintenance costs of the following:
 - a. Street lights;
 - b. Parkway/open space landscaping;
 - c. Wall maintenance in conjunction with landscaping;
 - d. Graffiti abatement;
 - e. Maintenance of open space areas.
- 11. For a building with a Special Flood Hazard Area as indicated on a Flood Insurance Rate Map (FIRM), the developer shall provide an Elevation Certificate in accordance with the National Flood Insurance Program. This form must be completed by a lands surveyor or civil engineer licensed in the State of California.
- 12. All final property corners shall be installed prior to final occupancy.
- 13. All areas of the project shall be protected against erosion by hydro seeding or landscaping.
- 14. All construction refuse shall be separated (i.e. concrete, asphalt concrete, wood gypsum board, etc.) and removed from the project in accordance with the City's Source Reduction and Recycling Element.
- 15. Clear blackline mylars and paper prints of record drawings, signed by the engineer of record, shall be provided to the City Engineer prior to the final inspection. An

Exhibit B

electronic autocad drawing file registered to the California State Plane – Zone 5 / NAD83 projected coordinate system, units in survey feet, shall be provided.

PASO ROBLES DEPARTMENT OF EMERGENCY SERVICES- The applicant shall contact the Department of Emergency Services, (805) 227-7560, for compliance with the following conditions:

G. GENERAL CONDITIONS

1. Prior to the start of construction:
 - Plans shall be reviewed, approved and permits issued by Emergency Services for underground fire lines.
 - Applicant shall provide documentation to Emergency Services that required fire flows can be provided to meet project demands.
 - Fire hydrants shall be installed and operative to current, adopted edition of the California Fire Code.
 - A based access road sufficient to support the department's fire apparatus (HS-20 truck loading) shall be constructed and maintained for the duration of the construction phase of the project.
 - Access road shall be at least twenty (20) feet in width with at least thirteen (13) feet, six (6) inches of vertical clearance.

2. Provide central station monitored fire sprinkler system for all residential, commercial and industrial buildings that require fire sprinklers in current, adopted edition of the California Building Code, California Fire Code and Paso Robles Municipal Code.
 - Plans shall be reviewed, approved and permits issued by Emergency Services for the installation of fire sprinkler systems.

3. Provide central station monitored fire alarm system for all residential, commercial and industrial buildings that require fire alarm system in current, adopted edition of the California Building Code, California Fire Code and Paso Robles Municipal Code.

4. If required by the Fire Chief, provide on the address side of the building if applicable:
 - Fire alarm annunciator panel in weatherproof case.
 - Knox box key entry box or system.
 - Fire department connection to fire sprinkler system.

5. Provide temporary turn-around to current City Engineering Standard for phased construction streets that exceed 150 feet in length.

6. Project shall comply with all requirements in current, adopted edition of California Fire

Exhibit B

Code and Paso Robles Municipal Code.

7. Prior to the issuance of Certificate of Occupancy:
 - Final inspections shall be completed on all underground fire lines, fire sprinkler systems, fire alarm systems and chemical hood fire suppression systems.
 - Final inspections shall be completed on all buildings.

SITE SUMMARY

APN: 025-382-002
 Title No.: Lot B - Tract 3152
 City: Paso Robles, CA
 County: San Luis Obispo County
 Specific Plan: Olsen-South Chandler Ranch Specific Plan
 Zoning: R3
 Dwelling Units: 131 DU
 Construction Type/Fire Rating: V-B
 Occupancy Type: R3
 Fire Sprinkler Type: NFPA 13-D
 Lot Coverage: 39.31% (176,224 sf)

VINEDO 3.3B DEVELOPMENT STANDARDS: TOWNHOMES			
SCALE	REQUIRED	COMMENTS	PROVIDED
Site Area	13.1 AC		Site: ±10.39 AC (GROSS) Basin: ±1.5 AC
Max. Dwelling Units	168		126 DU
Density Range	8-22 DU/AC (GROSS)		12.6 DU/AC (GROSS)
SETBACKS			
Front Living Area Setback	8' Min.		12'3" Min.
Front Porch/Patio	3' Min.		3' Min.
Front Architectural Encroachments*	2' max. into setback		-
Side Building Separation	15' min.		15' Min.
Side Corner Setback	8' Min. to Living Area		11'2" Min.
Side Porch/Patio Setback	5' Min.		11'2" Min.
Side Architectural Encroachments*	2' max. into setback		-
Rear Garage Setback (Driveway apron from alley)	3' min. and 7' max		3' min. 11' max
Rear Architectural Encroachments*	2' (eave only)		-
Max. Building Height	40' or 2 + 500 sf max. 3rd story pop-up		29', 2-story

*Architcural Encroachments are allowed to encourage articulation and shall not exceed 30 sf in plan on any elevation

OPEN SPACE (Common + Private)			
Private Open Space (Ground Floor)	13,000 sf (100 sf/unit) (Worth 1.5 Value of COS)	(8' Min. Dimension)	±32,677.5 sf COS
Private Open Space (Upper Floor)	50 sf/unit	(5' Min. Dimension) (50sf Min.)	N/A
Common Open Space	Not Required per O-SCSP	(15' Min. Dimension)	±52,544 sf (±417 sf/unit)
Total Qualified Open Space			±85,221.5 sf (676 sf/unit)
PARKING			
Parking Space Dims	Head-In: 9'x18' (Uncovered Spaces) Parallel: 8'x22' (8'x16' Compact Space-30% Max.) Garage: 10'x20' (Covered Space)	3.3B DEVELOPMENT STANDARDS TABLE 21.22.02	
Required Covered Parking	1 sp/1BD unit, 2 sp/2+ BD unit 252 Spaces (±2.21 sp/unit)		252 Spaces
Guest Parking	0.2 sp/unit 26 Spaces		38 Spaces
Totals Required	(278 spaces Required)	3.3B DEVELOPMENT STANDARDS TABLE 21.22.040	290 spaces (±2.30 sp/unit) provided (See above for breakdown)

**On-Street parking within 200' can be counted towards guest parking requirements

UNIT SUMMARY

#	Plan	Type	Net Area	Parking Req.
29 DU	1	3 bd/2.5 ba/2 Car Garage	1,297 sf	58 sp
43 DU	2	3 bd/2.5 ba/2 Car Garage	1,310 sf	86 sp
27 DU	3	4 bd/2.5 ba/Loft Opt/2 Car Garage	1,500 sf	54 sp
6 DU	3x	4 bd/2.5 ba/Loft Opt/2 Car Garage	1,500 sf	12 sp
21 DU	4	4 bd/2.5 ba/Loft Opt/2 Car Garage	1,561 sf	42 sp
Total: 126 DU			Total Net Area: 176,224 sf (Avg. 1,399 sf)	252 sp

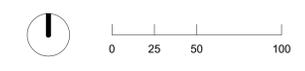


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VINEDO PA 2
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Plot Date: 03.05.2025
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 PC Meeting Set: 02.19.2025
 Updated Meeting Set: 02.25.2025



SITE PLAN

A1.0



STYLE B - COMMERCIAL AGRARIAN

STYLE A - MODERN FARMHOUSE

STYLE B - COMMERCIAL AGRARIAN

Street Scene Elevation Along T Street



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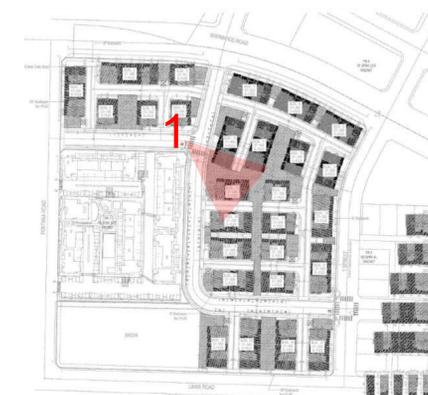
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STREET SCENES

A1.1



VIEW FROM CORNER OF INTERNAL STREET AND SHERWOOD ROAD

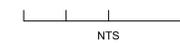


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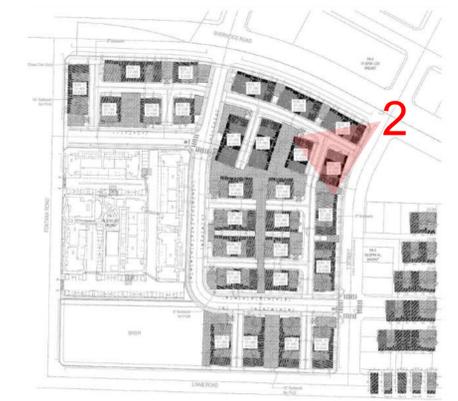


PERSPECTIVE
 VIEW 1

A1.2



VIEW 2



VIEW FROM CORNER OF SHERWOOD ROAD AND T STREET



VIEW 3



VIEW FROM CORNER OF INTERNAL STREET AND T STREET

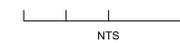


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PERSPECTIVES

A1.3

MATERIALS LEGEND

- | | | |
|--|---|-----------------------|
| 1 Stucco | 11 Window Recess / Reveal and Stucco o/ Foam Sill At Stucco | 21 Metal Utility Door |
| 2 Concrete Flat Tile Roof | 12 Entry Fiber Cement Trim Surround | |
| 3 Standing Seam Metal Roof | 13 Decorative Simulated Wood Corbel | |
| 4 Vertical Board and Batten Siding | 14 Fiber Cement Trim | |
| 5 Metal Awning | 15 Fiber Cement Trim w/ Fiber Cement Bd. Panel | |
| 6 Wood Beam and Outlookers | 16 2x4 Corner Trim at Vertical Siding | |
| 7 Decorative Fiberglass Entry Door w/ Textured Glass | 17 Sectional Metal Garage Door | |
| 8 Vinyl Windows | 18 Decorative Exterior Lights & Raised Number Address | |
| 9 Exposed Wood Truss Tails with 2x3 Wood Fascia | 19 Stucco Sill Trim | |
| 10 Fiber Cement Window Trim and Sill | 20 42" High Fencing Per Landscape | |



Right Elevation



Rear Elevation



Left Elevation



Front Elevation



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C-100 ELEVATIONS
3-PLEX - STYLE A

A2.0

MATERIALS LEGEND

- | | | |
|--|---|--|
| 1 Stucco | 11 Window Recess / Reveal and Stucco o/ Foam Sill At Stucco | 21 Faux Gable End Vent 1x2 Boards Over Panel Board |
| 2 Concrete Flat Tile Roof | 12 Entry Fiber Cement Trim Surround | 22 Stucco Sill Trim |
| 3 Standing Seam Metal Roof | 13 Decorative Simulated Wood Corbel | 23 42" High Fencing Per Landscape |
| 4 Horizontal Siding (6" Exposure) | 14 Fiber Cement Trim | 24 Metal Utility Door |
| 5 Roof Awning | 15 Fiber Cement Trim w/ Fiber Cement Bd. Panel | |
| 6 Wood Beam and Outlookers | 16 2x4 Corner Trim at Horizontal Siding | |
| 7 Decorative Fiberglass Entry Door w/ Textured Glass | 17 Sectional Metal Garage Door | |
| 8 Vinyl Windows | 18 Decorative Exterior Lights & Raised Number Address | |
| 9 Exposed Wood Truss Tails with 2x3 Wood Fascia | 19 1x over 2x Barge Board | |
| 10 Fiber Cement Window Trim and Sill | 20 4x6 Decorative Gable End Outlooker | |



Right Elevation



Rear Elevation



Left Elevation



Front Elevation



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C-100 ELEVATIONS
3-PLEX - STYLE B

A2.1

MATERIALS LEGEND

- 1 Stucco
- 2 Concrete Flat Tile Roof
- 3 Standing Seam Metal Roof
- 4 Vertical Board and Batten Siding
- 5 Metal Awning
- 6 Wood Beam and Outlookers
- 7 Decorative Fiberglass Entry Door w/ Textured Glass
- 8 Vinyl Windows
- 9 Exposed Wood Truss Tails with 2x3 Wood Fascia
- 10 Fiber Cement Window Trim and Sill
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- 12 Entry Fiber Cement Trim Surround
- 13 Decorative Simulated Wood Corbel
- 14 Fiber Cement Trim
- 15 Fiber Cement Trim w/ Fiber Cement Bd. Panel
- 16 2x4 Corner Trim at Vertical Siding
- 17 Sectional Metal Garage Door
- 18 Decorative Exterior Lights & Raised Number Address
- 19 Stucco Sill Trim
- 20 42" High Fencing Per Landscape
- 21 Metal Utility Door



Right Elevation



Rear Elevation



Left Elevation



Front Elevation



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C-200 ELEVATIONS
4-PLEX - STYLE A

A3.0

MATERIALS LEGEND

- | | | |
|--|---|--|
| 1 Stucco | 11 Window Recess / Reveal and Stucco o/ Foam Sill At Stucco | 21 Faux Gable End Vent 1x2 Boards Over Panel Board |
| 2 Concrete Flat Tile Roof | 12 Entry Fiber Cement Trim Surround | 22 Stucco Sill Trim |
| 3 Standing Seam Metal Roof | 13 Decorative Simulated Wood Corbel | 23 42" High Fencing Per Landscape |
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| 7 Decorative Fiberglass Entry Door w/ Textured Glass | 17 Sectional Metal Garage Door | |
| 8 Vinyl Windows | 18 Decorative Exterior Lights & Raised Number Address | |
| 9 Exposed Wood Truss Tails with 2x3 Wood Fascia | 19 1x over 2x Barge Board | |
| 10 Fiber Cement Window Trim and Sill | 20 4x6 Decorative Gable End Outlooker | |



Right Elevation



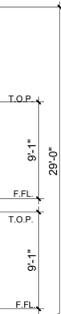
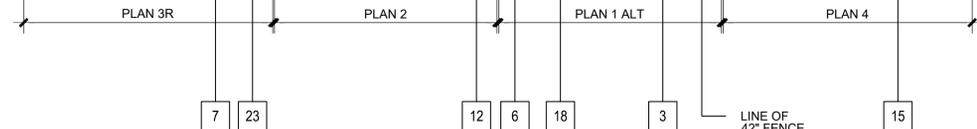
Rear Elevation



Left Elevation



Front Elevation



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C-200 ELEVATIONS
4-PLEX - STYLE B

A3.1

MATERIALS LEGEND

- 1 Stucco
- 2 Concrete Flat Tile Roof
- 3 Standing Seam Metal Roof
- 4 Vertical Board and Batten Siding
- 5 Metal Awning
- 6 Wood Beam and Outlookers
- 7 Decorative Fiberglass Entry Door w/ Textured Glass
- 8 Vinyl Windows
- 9 Exposed Wood Truss Tails with 2x3 Wood Fascia
- 10 Fiber Cement Window Trim and Sill
- 11 Window Recess / Reveal and Stucco o/ Foam Sill At Stucco
- 12 Entry Fiber Cement Trim Surround
- 13 Decorative Simulated Wood Corbel
- 14 Fiber Cement Trim
- 15 Fiber Cement Trim w/ Fiber Cement Bd. Panel
- 16 2x4 Corner Trim at Vertical Siding
- 17 Sectional Metal Garage Door
- 18 Decorative Exterior Lights & Raised Number Address
- 19 Stucco Sill Trim
- 20 42" High Fencing Per Landscape
- 21 Metal Utility Door



Right Elevation



Rear Elevation



Left Elevation



Front Elevation



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C-300 ELEVATIONS
5-PLEX - STYLE A

A4.0

MATERIALS LEGEND

- | | | |
|--|---|--|
| 1 Stucco | 11 Window Recess / Reveal and Stucco o/ Foam Sill At Stucco | 21 Faux Gable End Vent 1x2 Boards Over Panel Board |
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| 3 Standing Seam Metal Roof | 13 Decorative Simulated Wood Corbel | 23 42" High Fencing Per Landscape |
| 4 Horizontal Siding (6" Exposure) | 14 Fiber Cement Trim | 24 Metal Utility Door |
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| 7 Decorative Fiberglass Entry Door w/ Textured Glass | 17 Sectional Metal Garage Door | |
| 8 Vinyl Windows | 18 Decorative Exterior Lights & Raised Number Address | |
| 9 Exposed Wood Truss Tails with 2x3 Wood Fascia | 19 1x over 2x Barge Board | |
| 10 Fiber Cement Window Trim and Sill | 20 4x6 Decorative Gable End Outlooker | |



Right Elevation



Rear Elevation



Left Elevation



Front Elevation



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C-300 ELEVATIONS
5-PLEX - STYLE B

A4.1

MATERIALS LEGEND

- 1 Stucco
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- 5 Metal Awning
- 6 Wood Beam and Outlookers
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- 8 Vinyl Windows
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- 10 Fiber Cement Window Trim and Sill
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- 14 Fiber Cement Trim
- 15 Fiber Cement Trim w/ Fiber Cement Bd. Panel
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- 20 42" High Fencing Per Landscape
- 21 Metal Utility Door



Right Elevation



Rear Elevation



Left Elevation



Front Elevation



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C-400 ELEVATIONS
6-PLEX - STYLE A

A5.0

MATERIALS LEGEND

- | | | |
|--|---|--|
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| 8 Vinyl Windows | 18 Decorative Exterior Lights & Raised Number Address | |
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| 10 Fiber Cement Window Trim and Sill | 20 4x6 Decorative Gable End Outlooker | |



Right Elevation



Rear Elevation



Left Elevation



Front Elevation



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C-400 ELEVATIONS
6-PLEX - STYLE B

A5.1

MATERIALS LEGEND

- 1 Stucco
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- 4 Vertical Board and Batten Siding
- 5 Metal Awning
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- 20 42" High Fencing Per Landscape
- 21 Metal Utility Door



Right Elevation



Rear Elevation



Left Elevation



Front Elevation



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C-500 ELEVATIONS
7-PLEX - STYLE A

A6.0

MATERIALS LEGEND

- | | | |
|--|---|--|
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| 4 Horizontal Siding (6" Exposure) | 14 Fiber Cement Trim | 24 Metal Utility Door |
| 5 Roof Awning | 15 Fiber Cement Trim w/ Fiber Cement Bd. Panel | |
| 6 Wood Beam and Outlookers | 16 2x4 Corner Trim at Horizontal Siding | |
| 7 Decorative Fiberglass Entry Door w/ Textured Glass | 17 Sectional Metal Garage Door | |
| 8 Vinyl Windows | 18 Decorative Exterior Lights & Raised Number Address | |
| 9 Exposed Wood Truss Tails with 2x3 Wood Fascia | 19 1x over 2x Barge Board | |
| 10 Fiber Cement Window Trim and Sill | 20 4x6 Decorative Gable End Outlooker | |



Right Elevation



Rear Elevation



Left Elevation



Front Elevation

- 1
- 21
- 4
- 24

- 16
- 14
- 21
- 1
- 8
- 2
- 22
- 5
- 10
- 6
- 4
- 14
- 11
- 9
- 19
- 20
- 13
- 17
- 14
- 18
- 3
- 6
- 7
- 12
- 15



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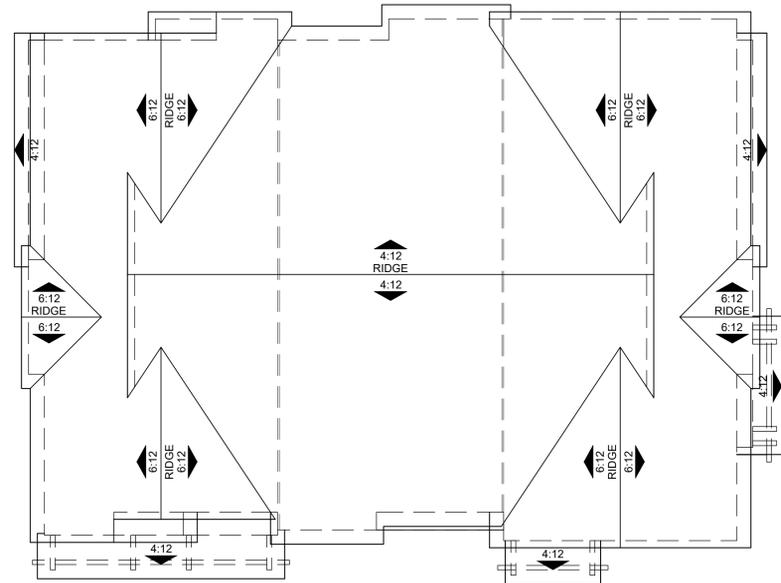
VINEDO PA 2
PASO ROBLES, CA # 2023-0561

Plot Date: 03.05.2025
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PC Meeting Set: 02.19.2025
Updated Meeting Set: 02.25.2025

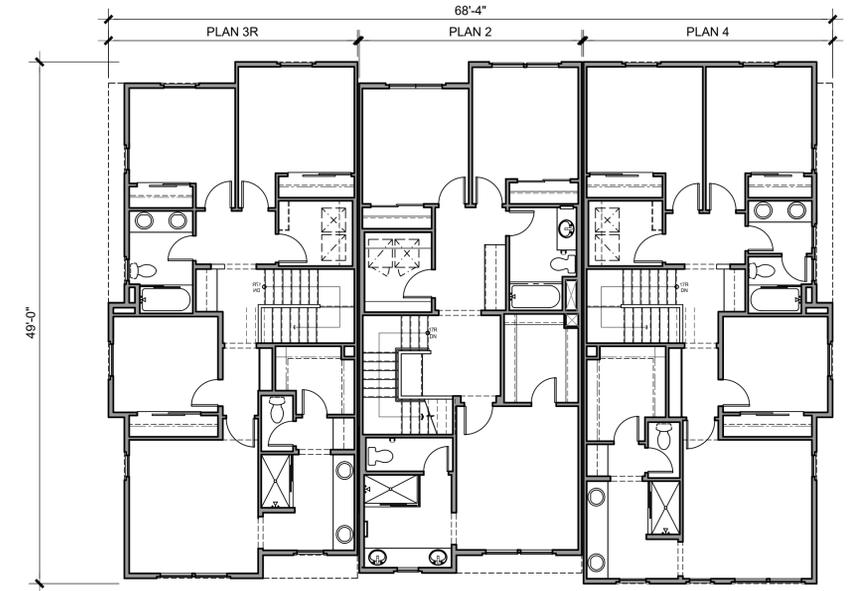


C-500 ELEVATIONS
7-PLEX - STYLE B

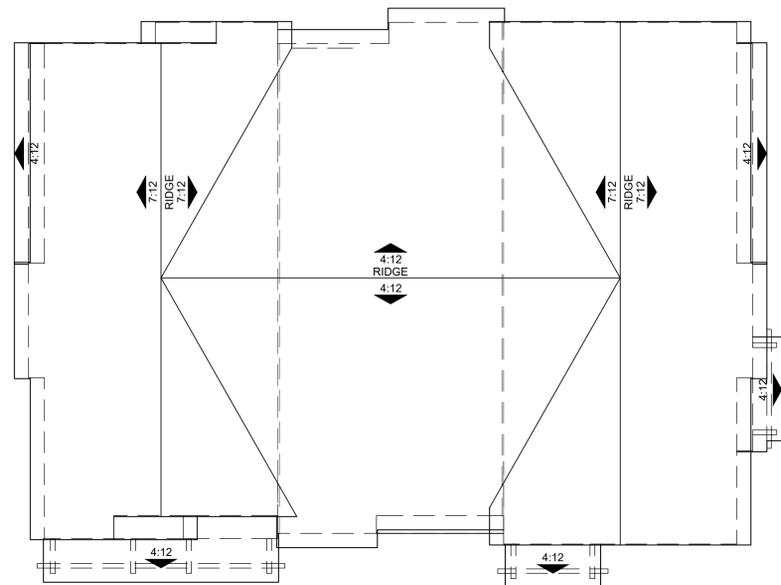
A6.1



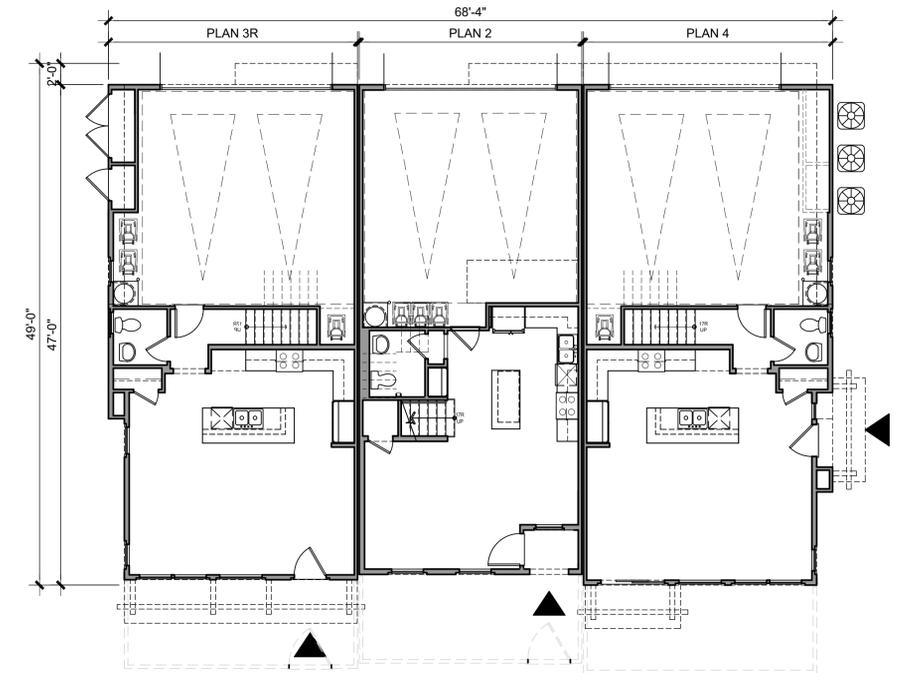
ROOF PLAN - STYLE B



SECOND FLOOR PLAN



ROOF PLAN - STYLE A



FIRST FLOOR PLAN



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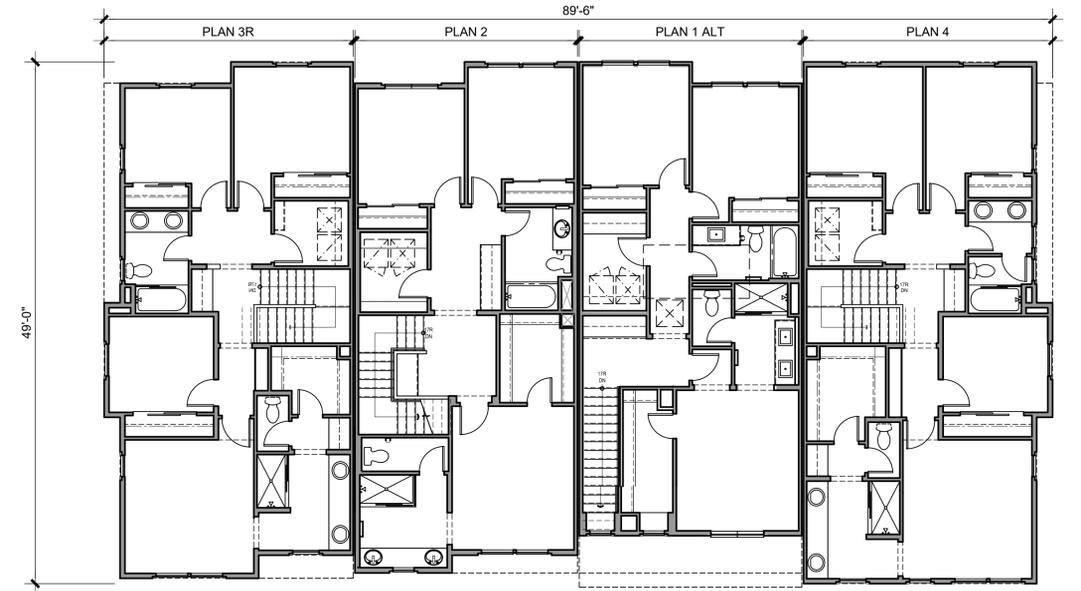
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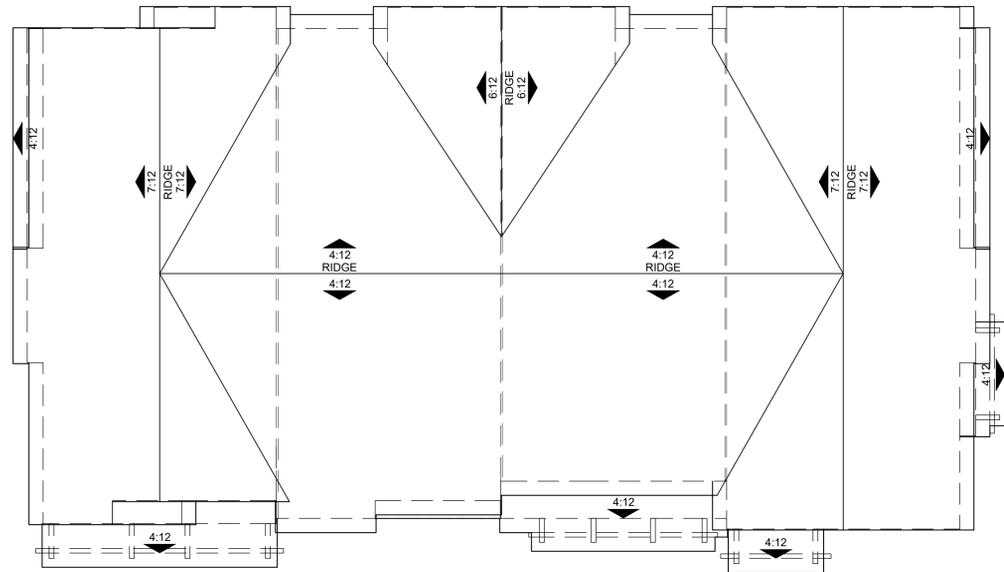
C-100 BUILDING PLANS / ROOF PLANS
3-PLEX

A2.2

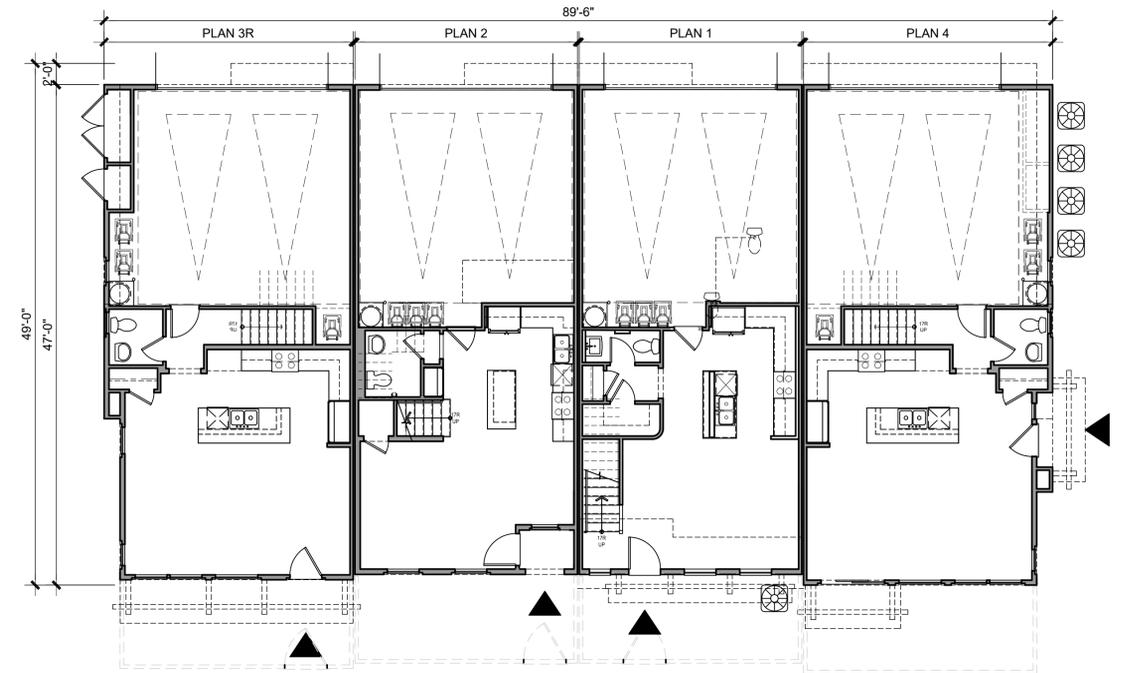


SECOND FLOOR PLAN

ROOF PLAN - STYLE B



ROOF PLAN - STYLE A



FIRST FLOOR PLAN



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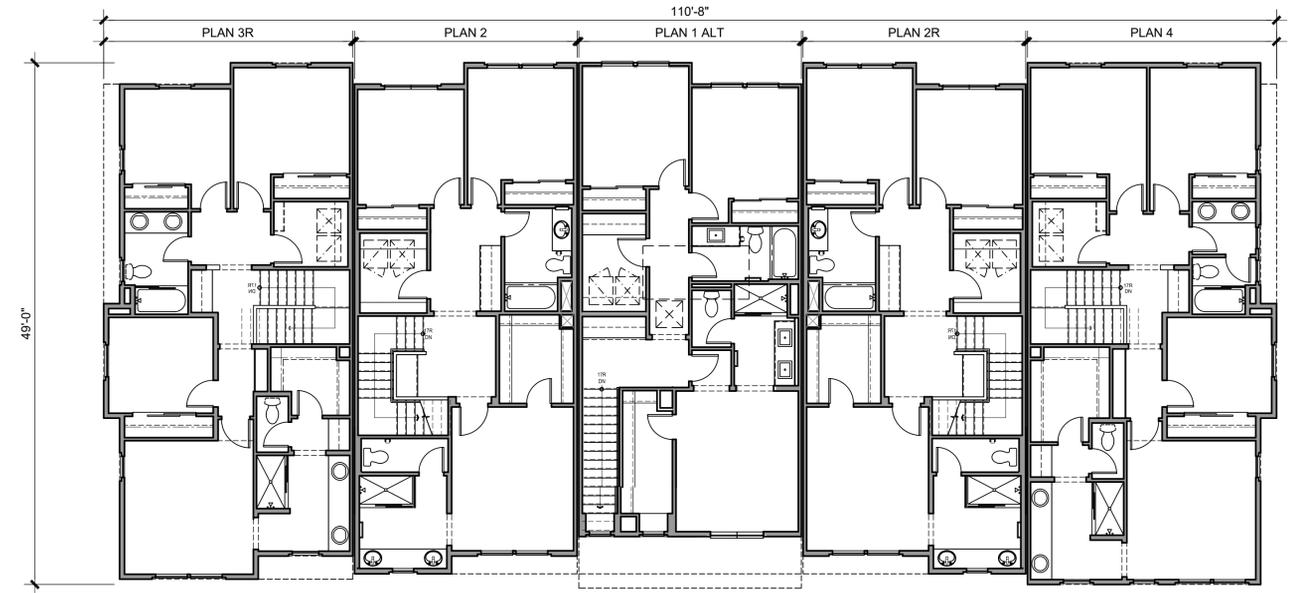
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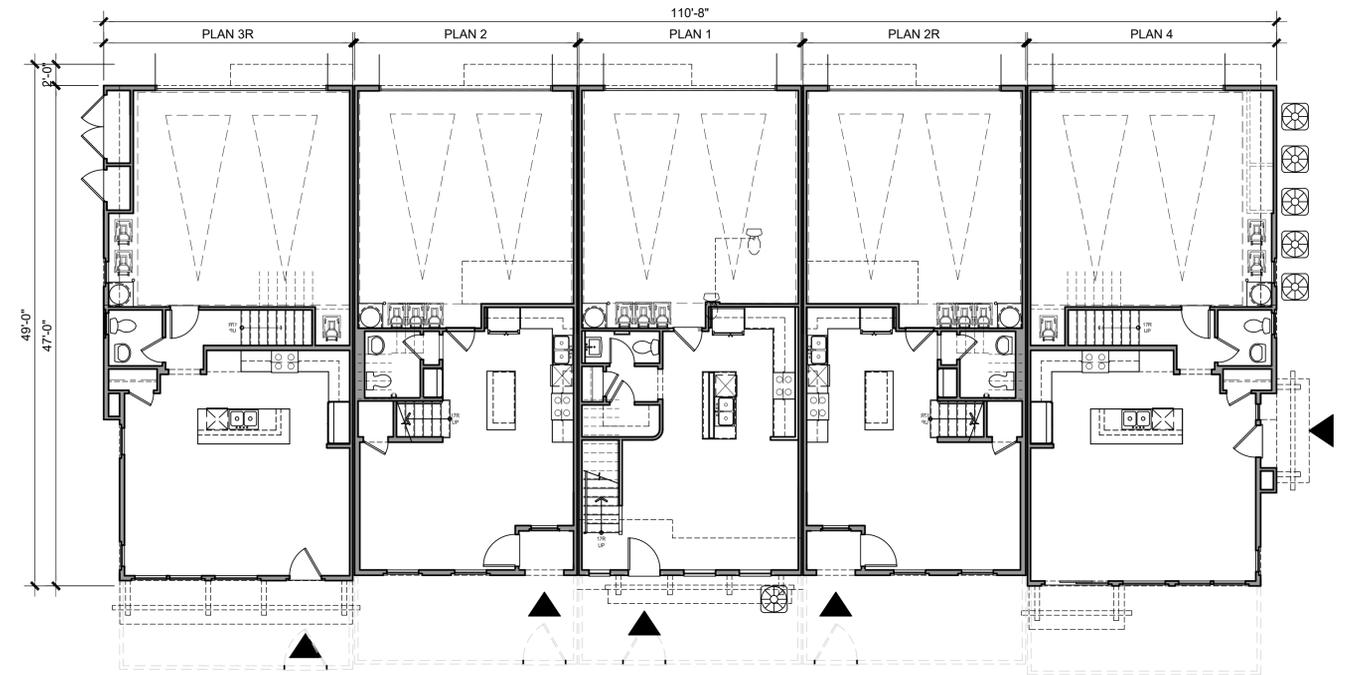


C-200 BUILDING PLANS / ROOF PLANS
4-PLEX

A3.2



SECOND FLOOR PLAN



FIRST FLOOR PLAN

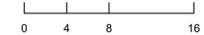


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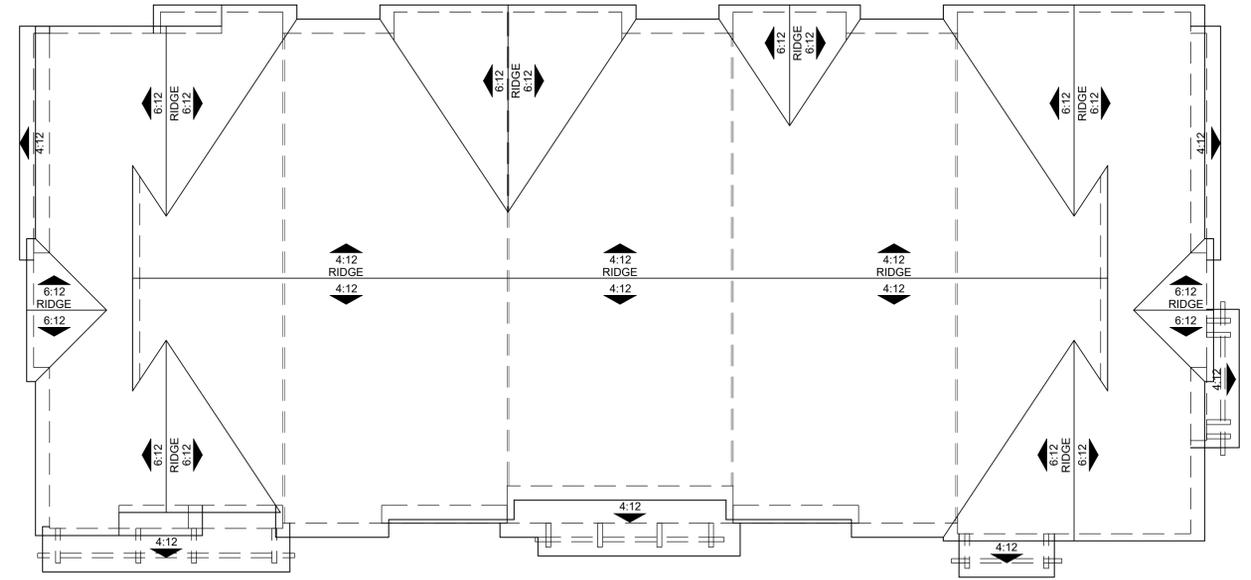
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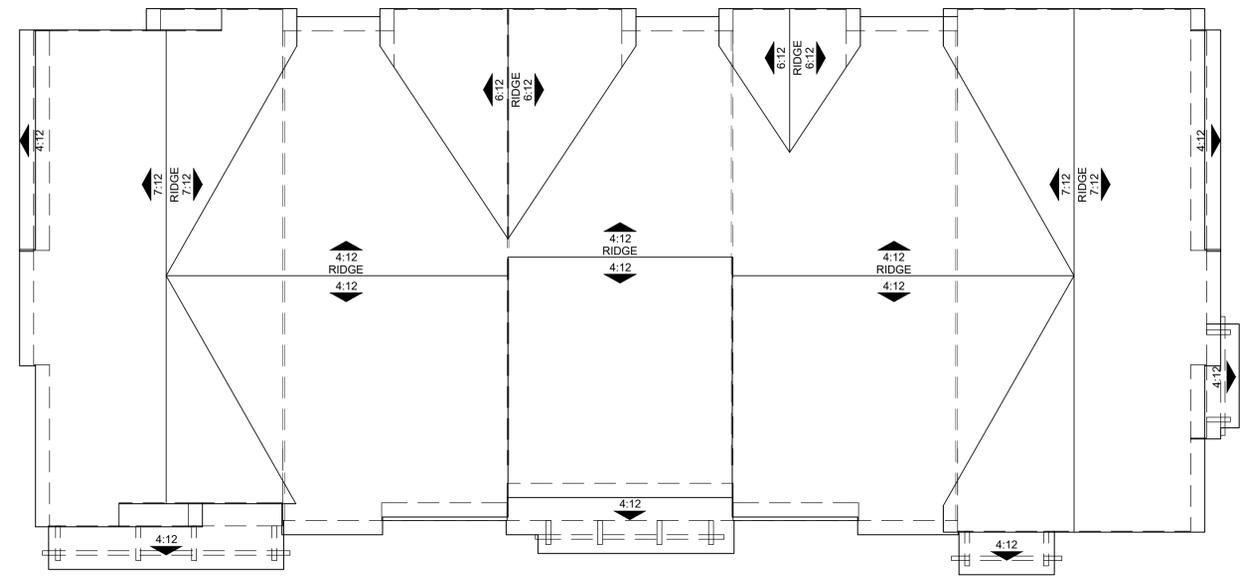


C-300 BUILDING PLANS
5-PLEX

A4.2



ROOF PLAN - STYLE B



ROOF PLAN - STYLE A

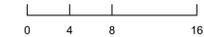


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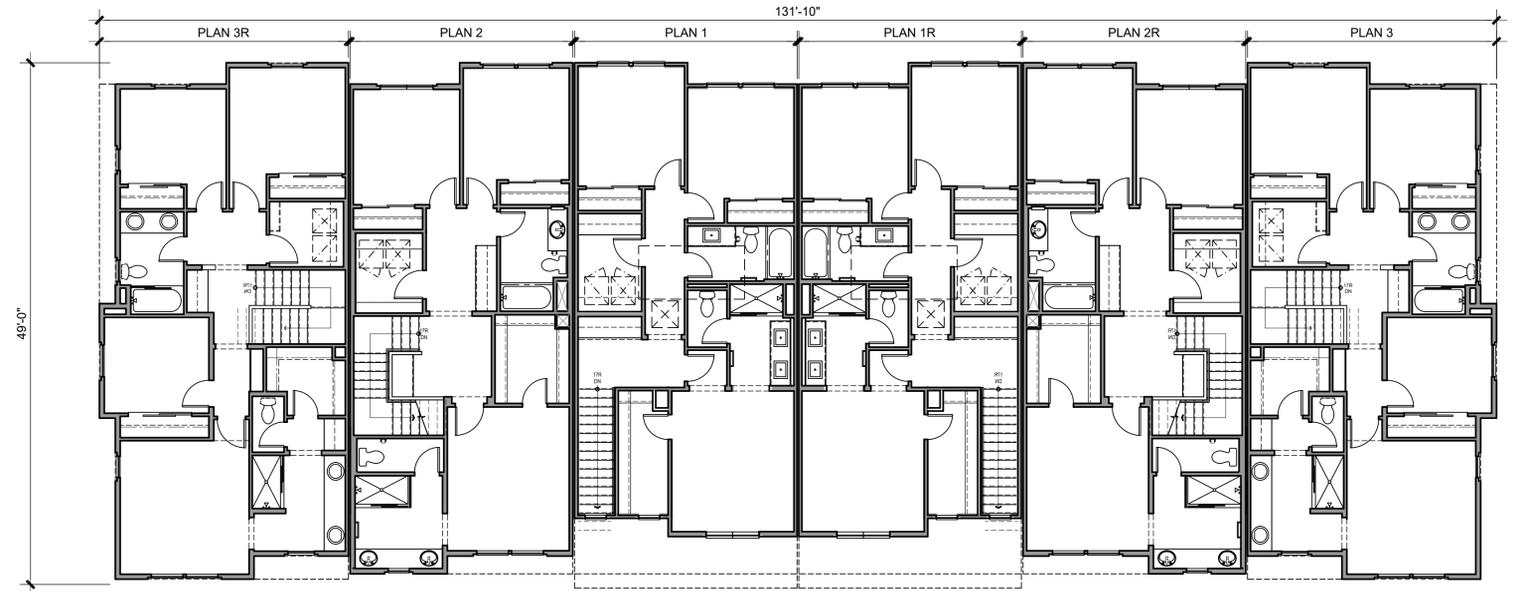
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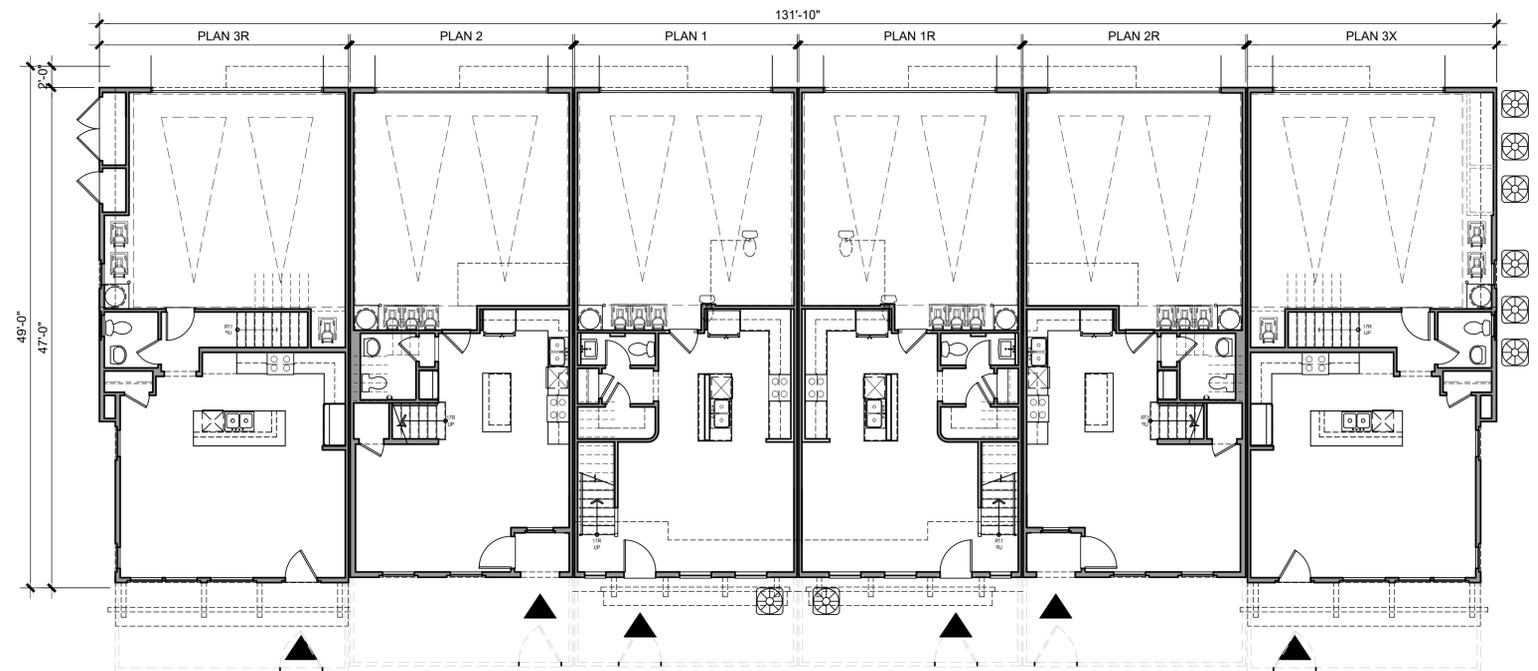


C-300 ROOF PLANS
5-PLEX

A4.2.1



SECOND FLOOR PLAN



FIRST FLOOR PLAN



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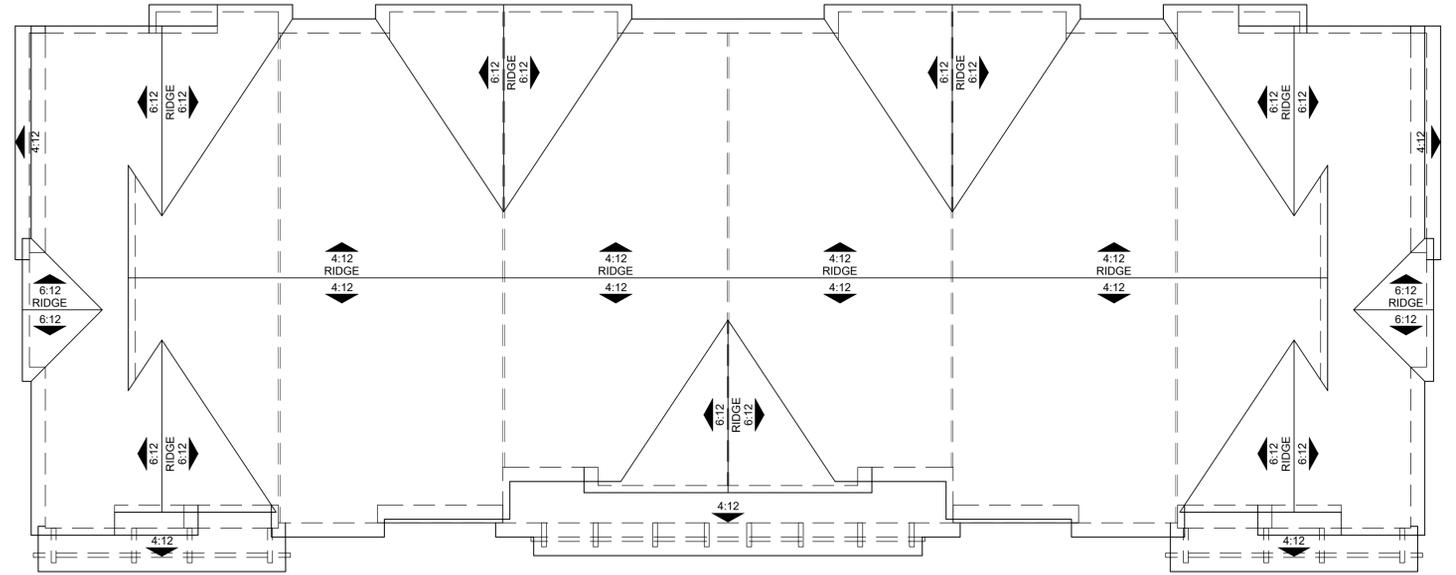
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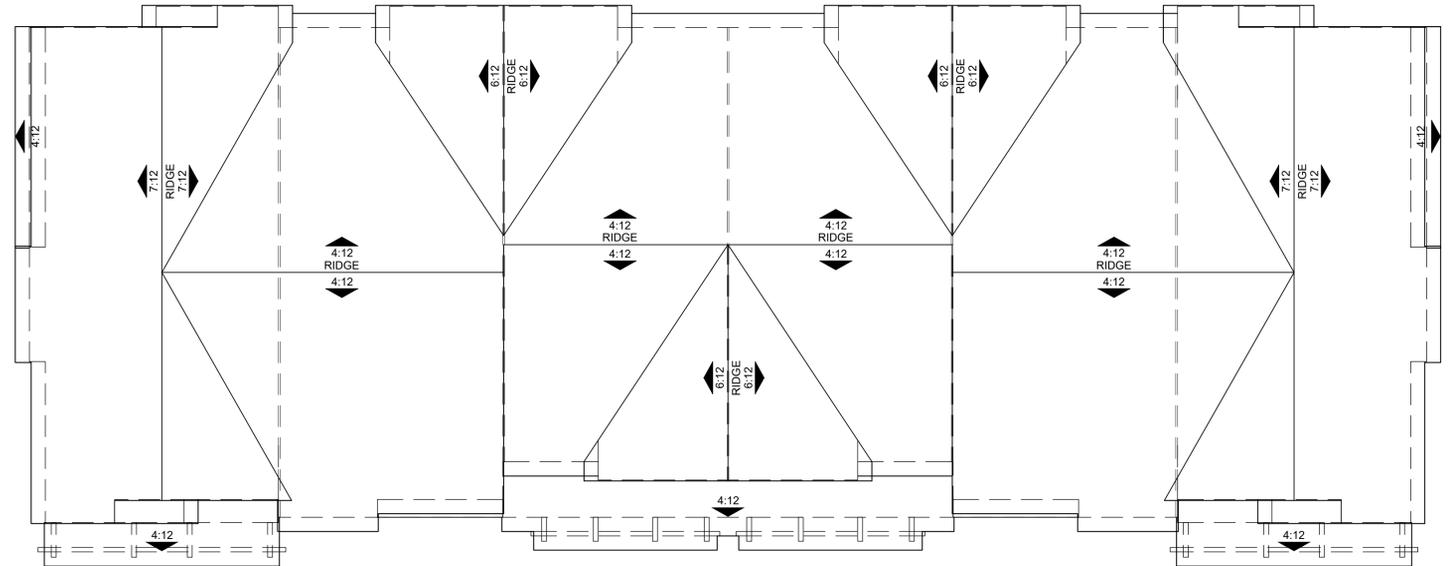


C-400 BUILDING PLANS
6-PLEX

A5.2



ROOF PLAN - STYLE B



ROOF PLAN - STYLE A



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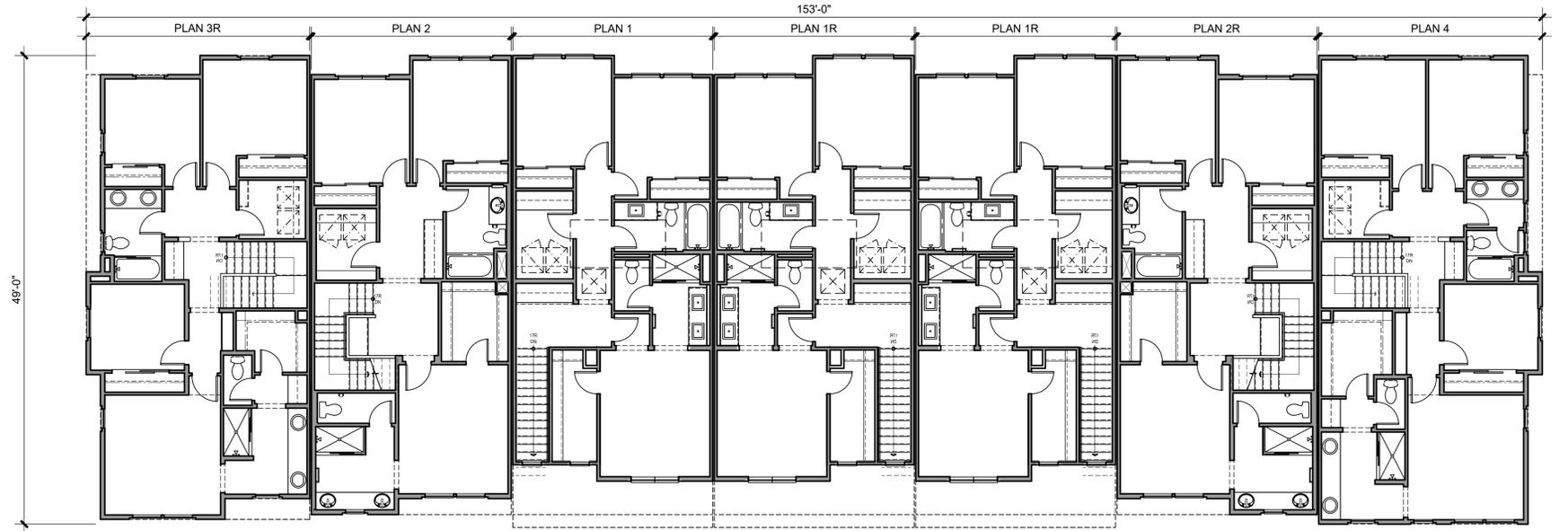
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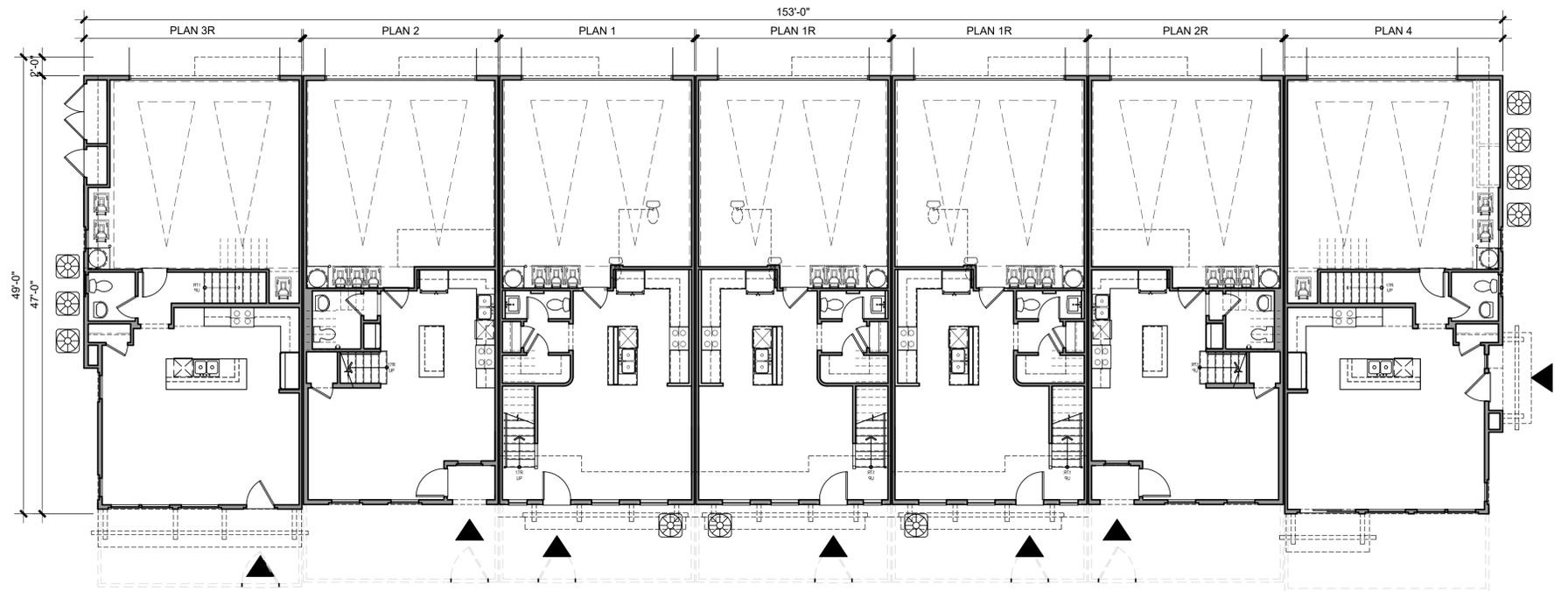


C-400 ROOF PLANS
6-PLEX

A5.2.1



SECOND FLOOR PLAN



FIRST FLOOR PLAN

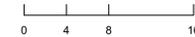


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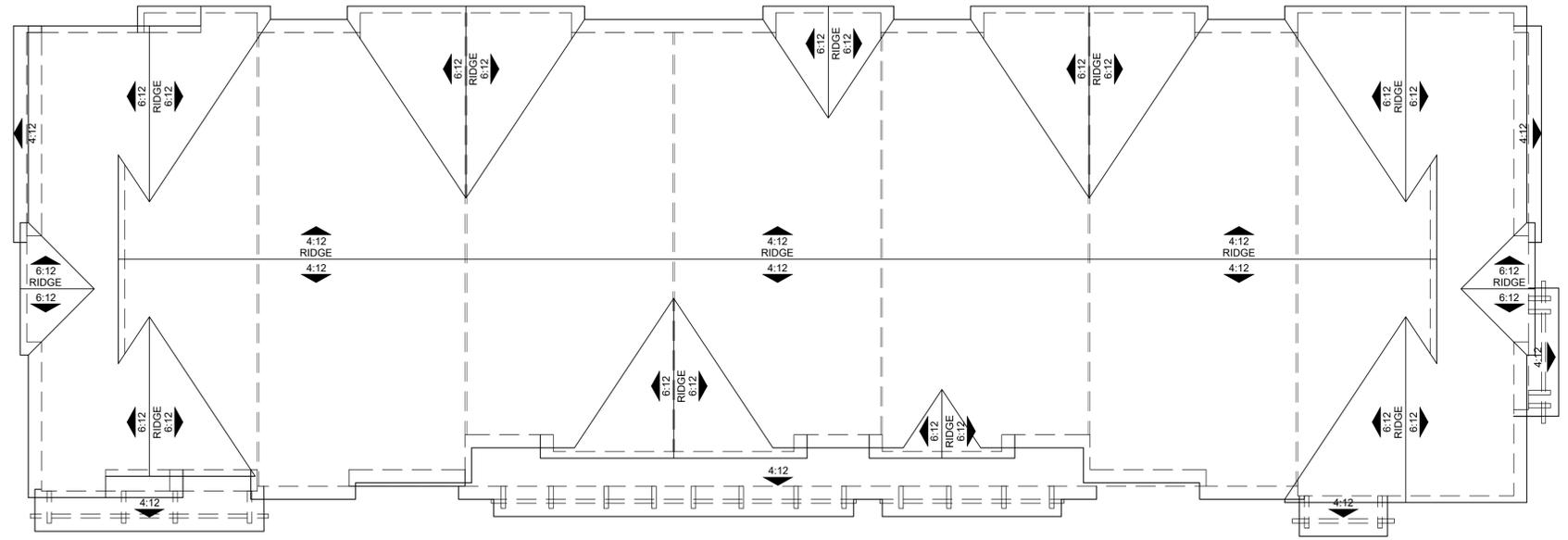
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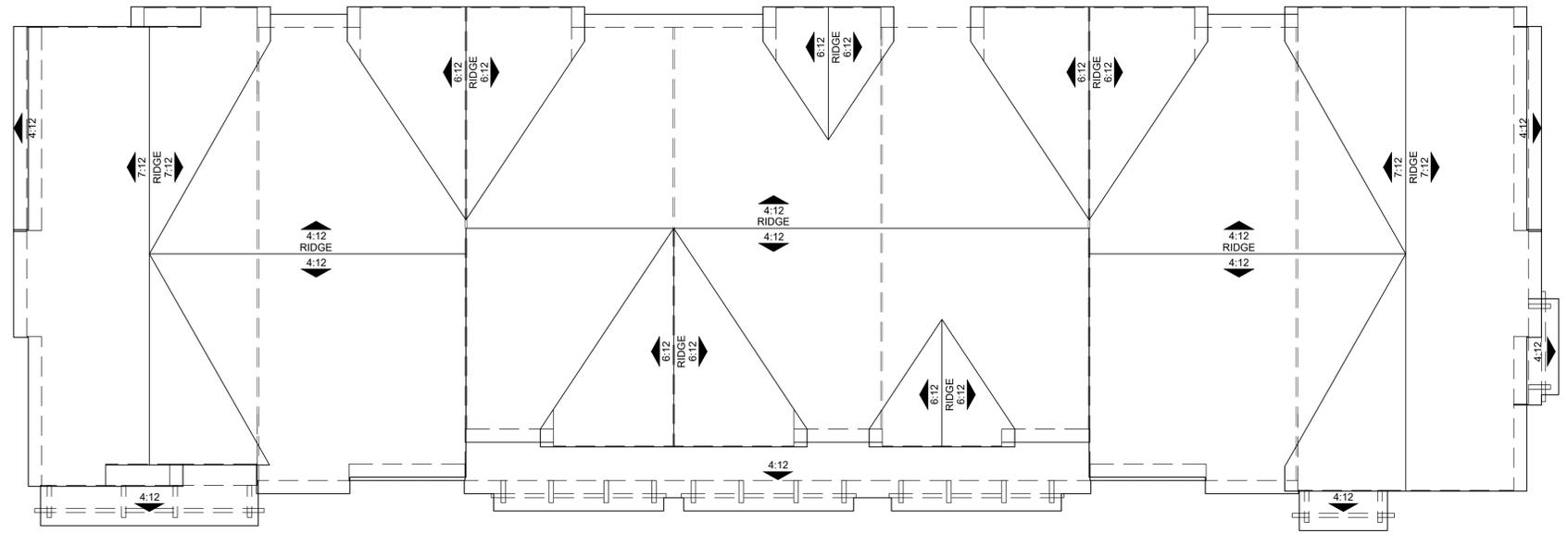


C-500 BUILDING PLANS
7-PLEX

A6.2



ROOF PLAN - STYLE B



ROOF PLAN - STYLE A

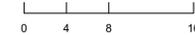


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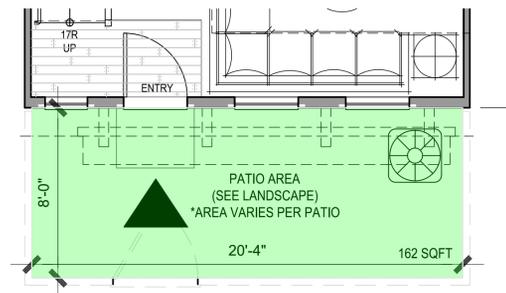


C-500 ROOF PLANS
7-PLEX

A6.2.1



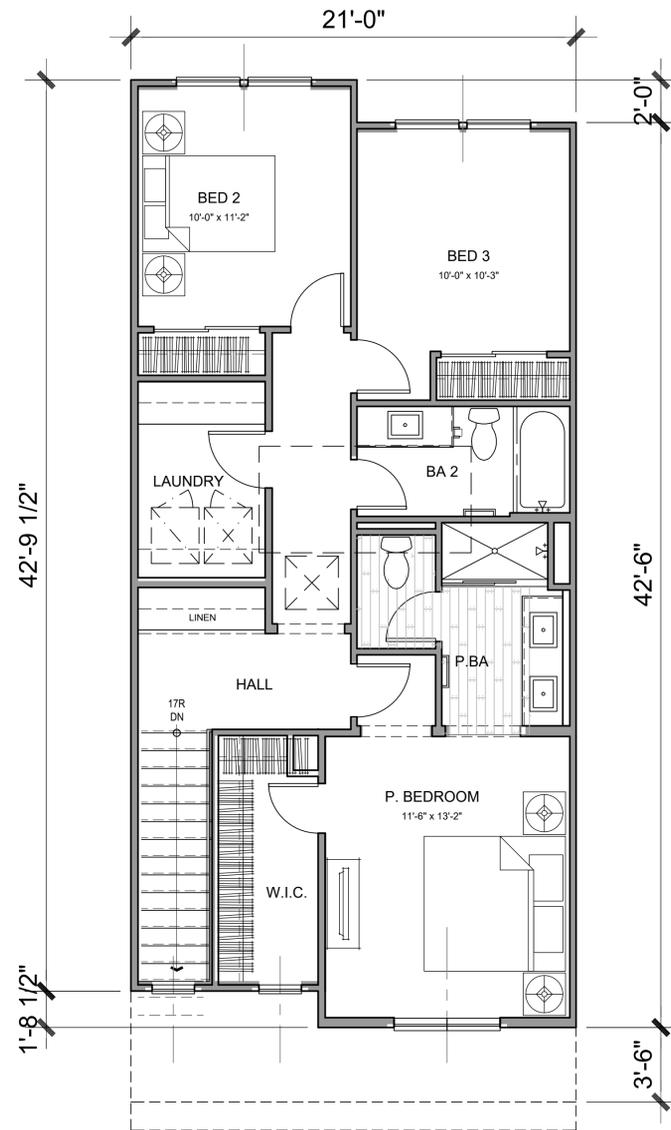
PERSPECTIVE VIEW



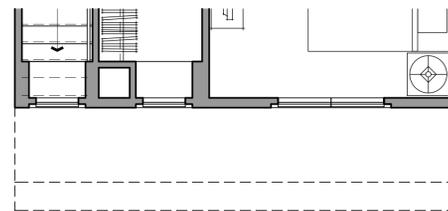
1ST FLOOR PATIO



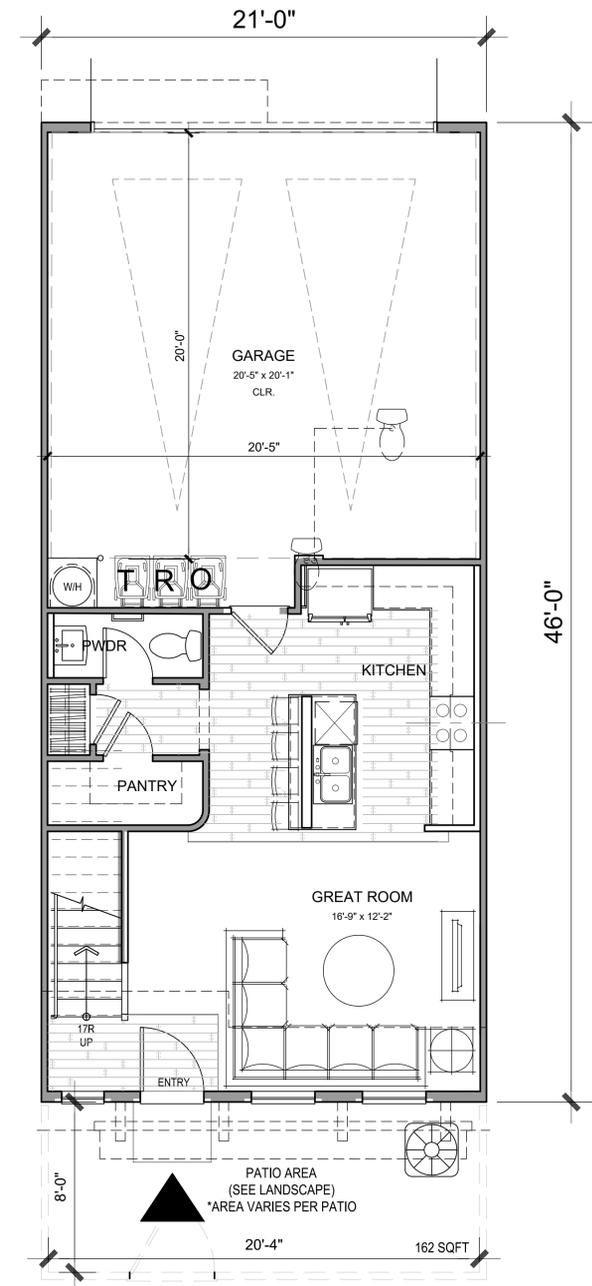
FRONT VIEW



2ND FLOOR PLAN



2ND FLOOR ALT. ELEV.



1ST FLOOR PLAN

GROSS SF		NET SF	
1ST FLOOR	508 SQ. FT.	1ST FLOOR	484 SQ. FT.
2ND FLOOR	851 SQ. FT.	2ND FLOOR	813 SQ. FT.
TOTAL	1359 SQ. FT.	TOTAL	1297 SQ. FT.
LIVING	1359 SQ. FT.	LIVING	1297 SQ. FT.
GARAGE	458 SQ. FT.		



PLAN 1 FLOOR PLANS



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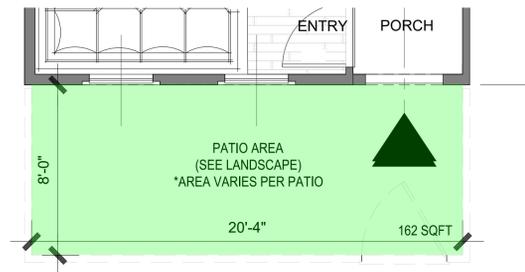
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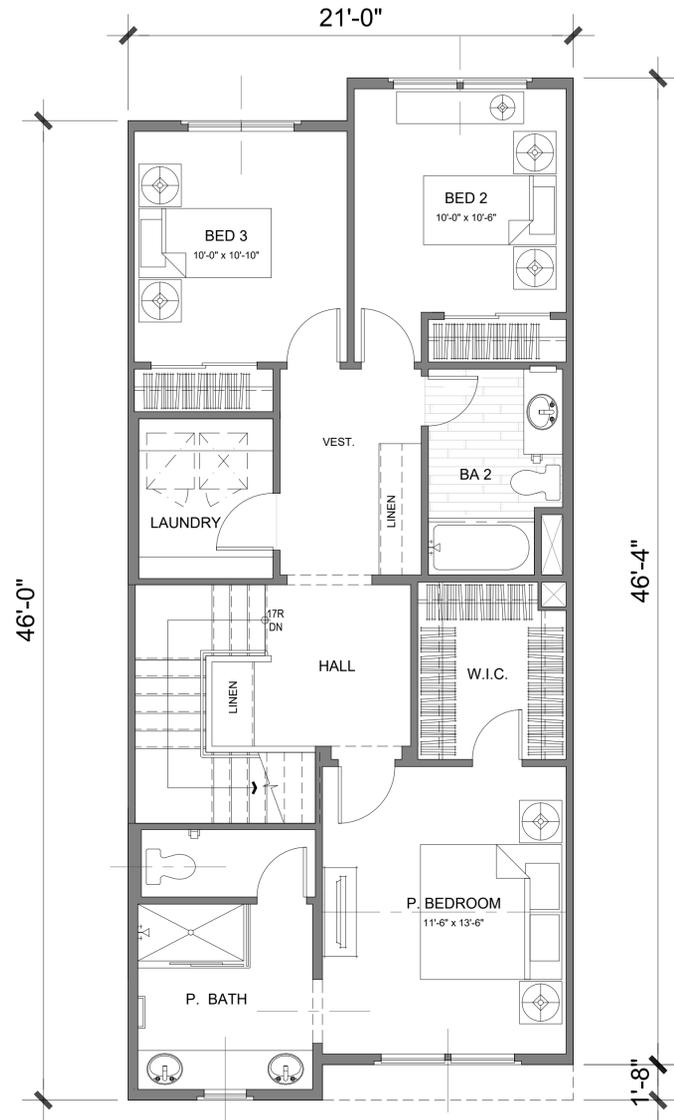
PERSPECTIVE VIEW



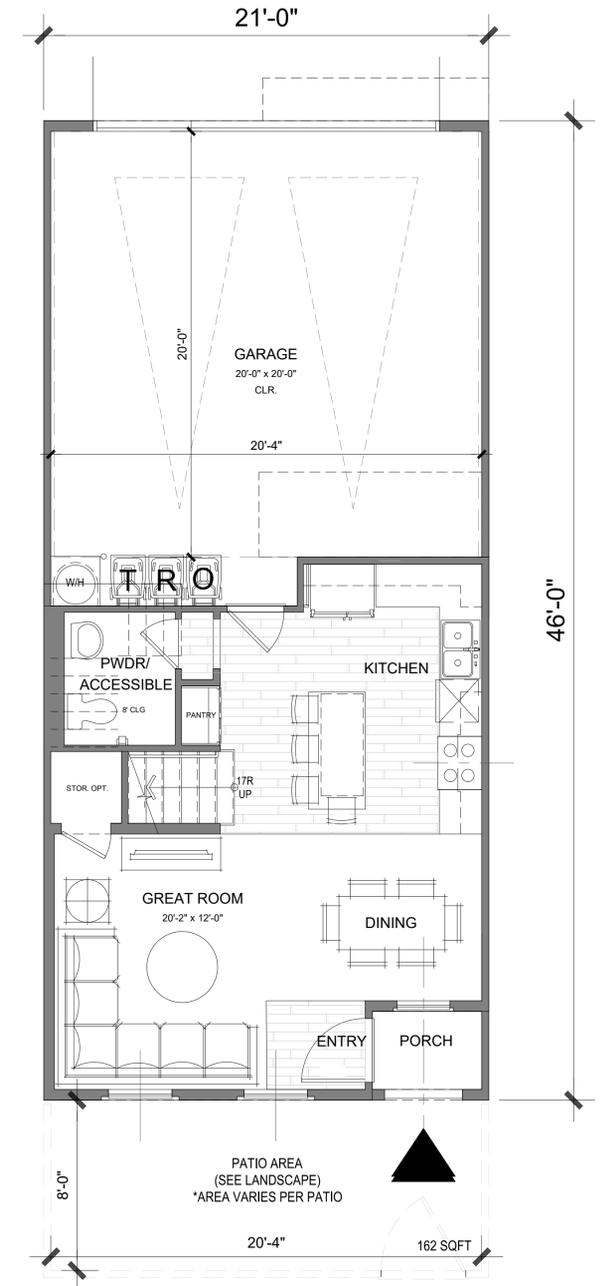
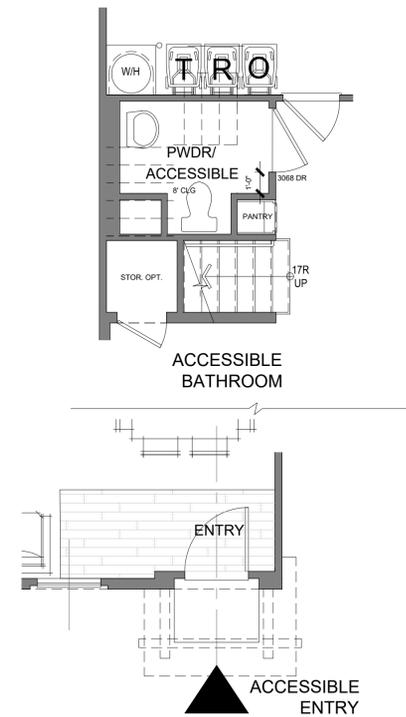
1ST FLOOR PATIO



FRONT VIEW



2ND FLOOR PLAN



1ST FLOOR PLAN

GROSS SF		NET SF	
1ST FLOOR	492 SQ. FT.	1ST FLOOR	463 SQ. FT.
2ND FLOOR	900 SQ. FT.	2ND FLOOR	847 SQ. FT.
TOTAL LIVING	1392 SQ. FT.	TOTAL LIVING	1310 SQ. FT.
GARAGE	458 SQ. FT.		
ACCESSIBLE 1ST FLOOR	+19 SQ. FT.		



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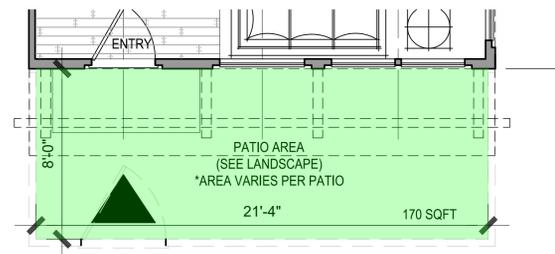


PLAN 2 FLOOR PLANS

A7.1



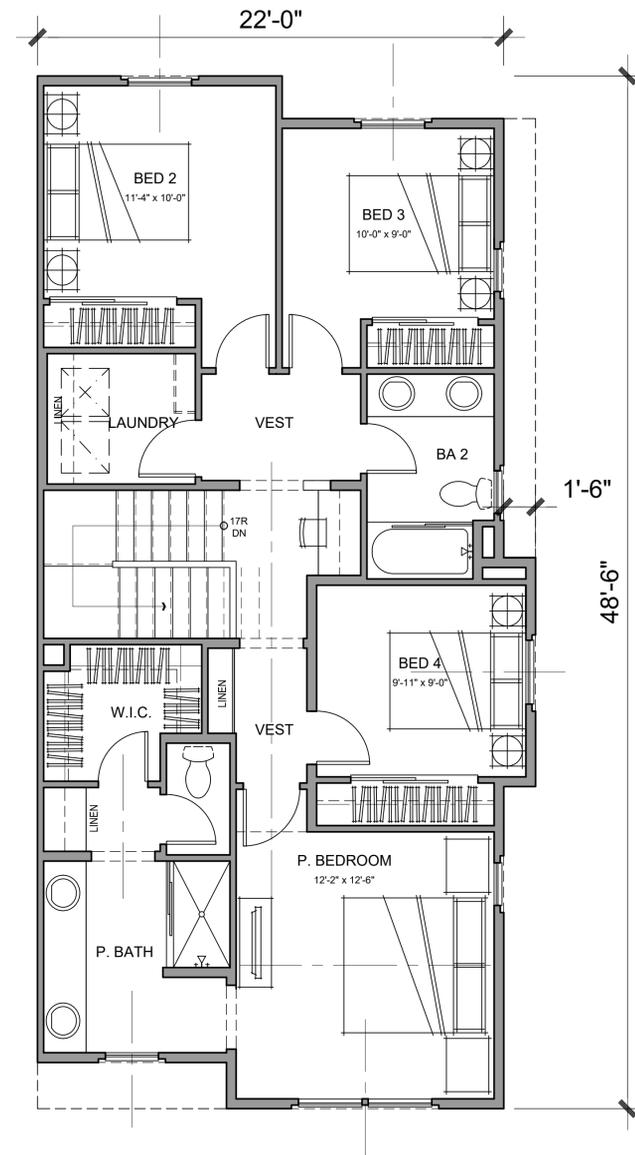
PERSPECTIVE VIEW



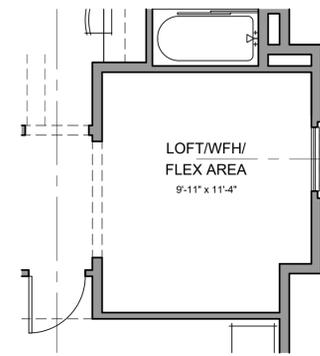
1ST FLOOR PATIO



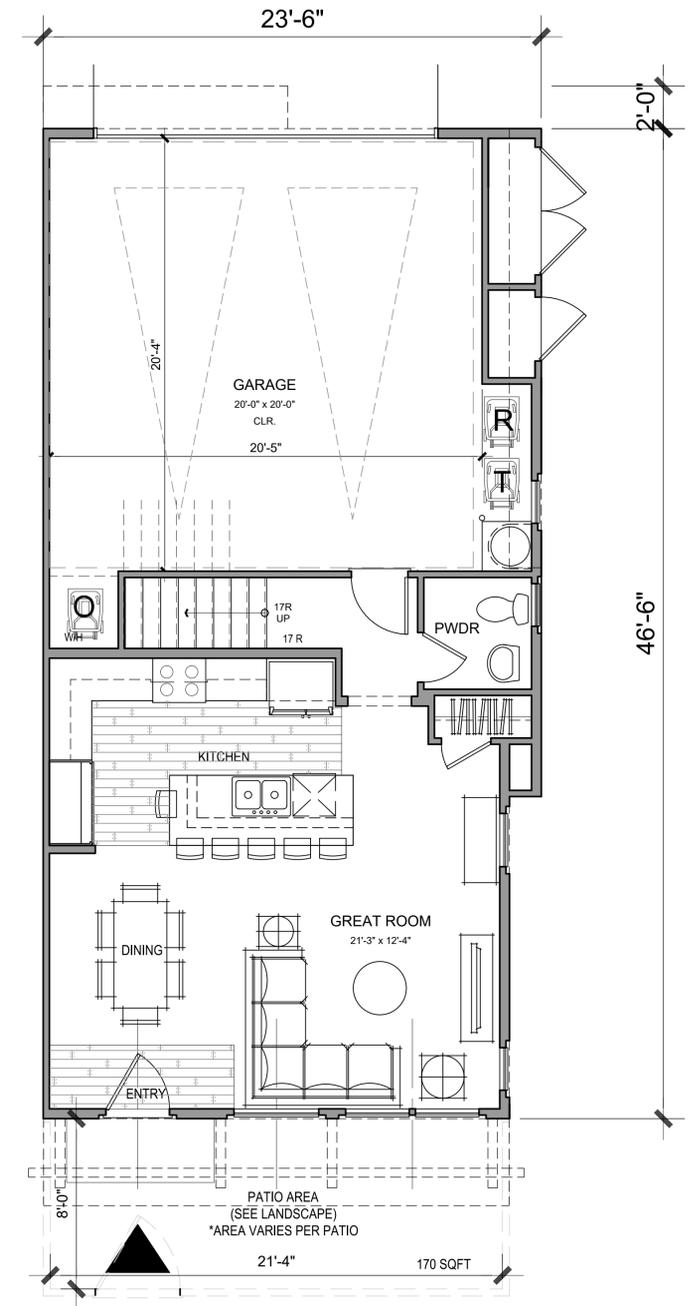
FRONT VIEW



2ND FLOOR PLAN



LOFT OPTION



1ST FLOOR PLAN

GROSS SF		NET SF	
1ST FLOOR	607 SQ. FT.	1ST FLOOR	577 SQ. FT.
2ND FLOOR	980 SQ. FT.	2ND FLOOR	923 SQ. FT.
TOTAL	1587 SQ. FT.	TOTAL	1500 SQ. FT.
LIVING	1587 SQ. FT.	LIVING	1500 SQ. FT.
GARAGE	501 SQ. FT.		

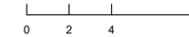


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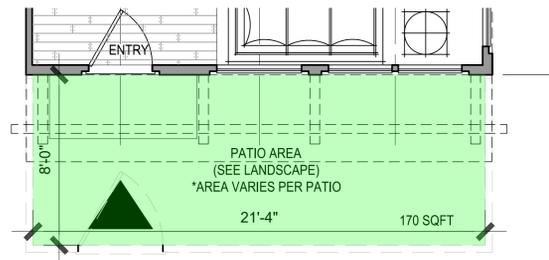


PLAN 3 FLOOR PLANS

A7.2



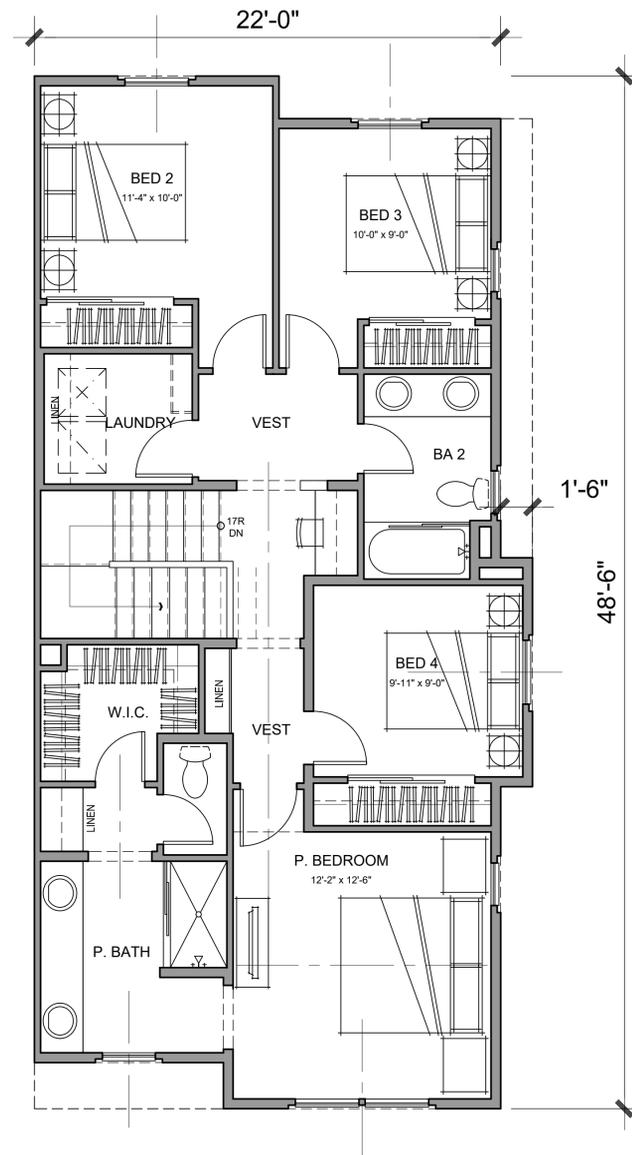
PERSPECTIVE VIEW



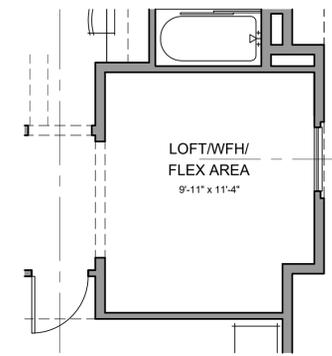
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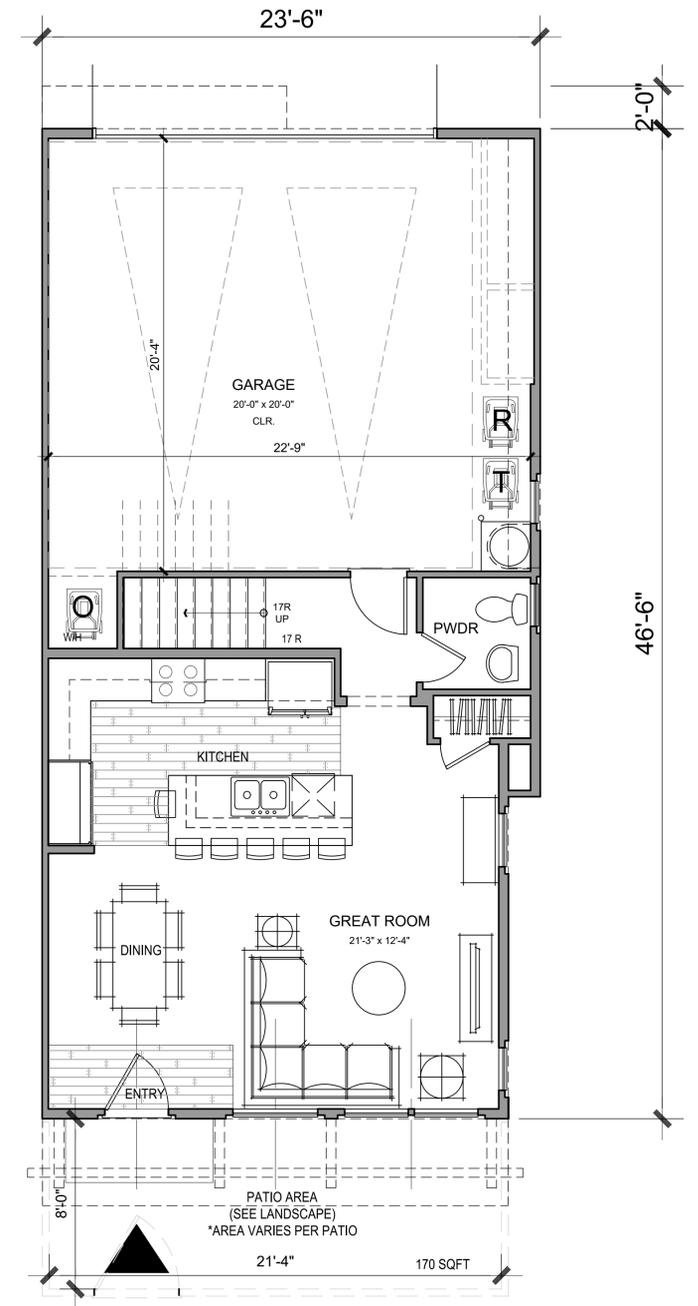
FRONT VIEW



2ND FLOOR PLAN



LOFT OPTION



1ST FLOOR PLAN

GROSS SF		NET SF	
1ST FLOOR	607 SQ. FT.	1ST FLOOR	577 SQ. FT.
2ND FLOOR	980 SQ. FT.	2ND FLOOR	923 SQ. FT.
TOTAL	1587 SQ. FT.	TOTAL	1500 SQ. FT.
GARAGE	501 SQ. FT.		

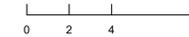


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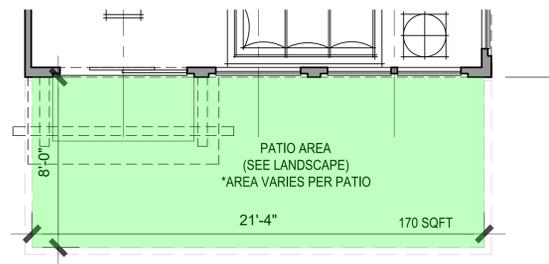


PLAN 3X FLOOR PLANS

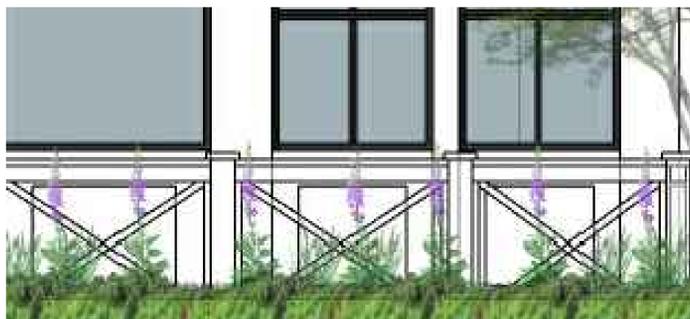
A7.3



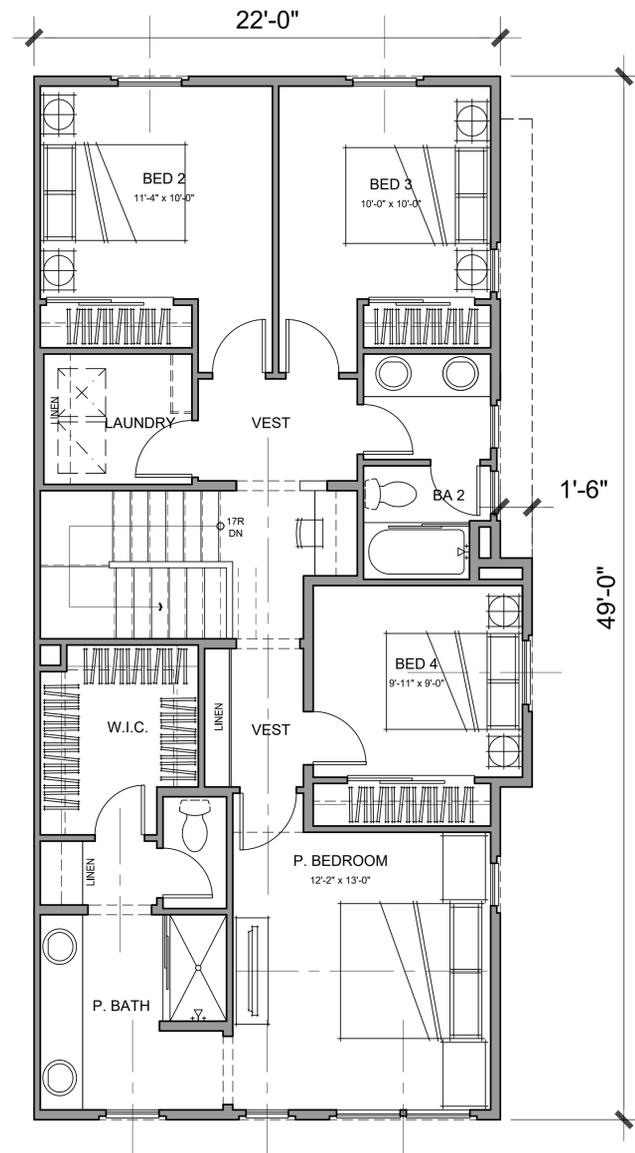
PERSPECTIVE VIEW



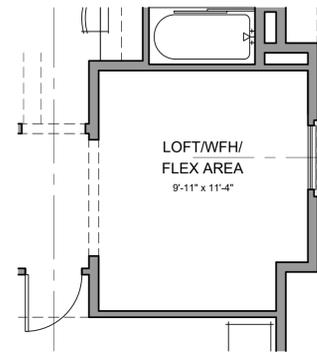
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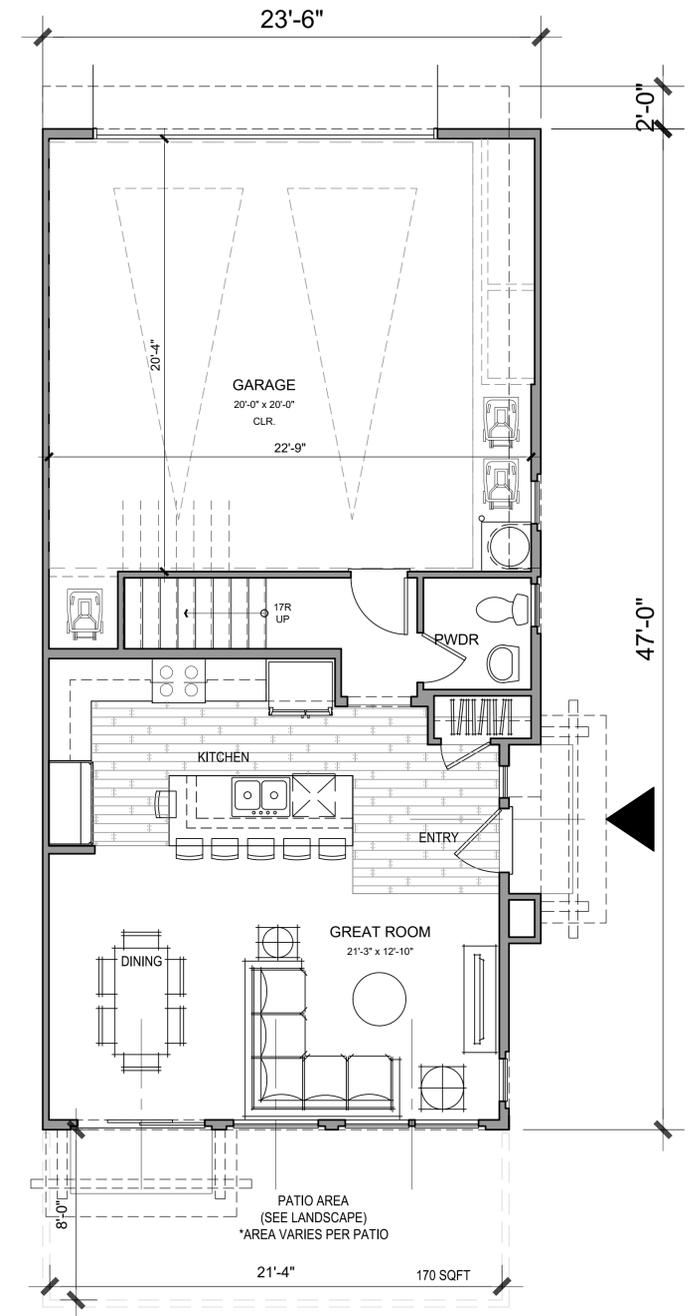
FRONT VIEW



2ND FLOOR PLAN



LOFT OPTION



1ST FLOOR PLAN

GROSS SF		NET SF	
1ST FLOOR	618 SQ. FT.	1ST FLOOR	587 SQ. FT.
2ND FLOOR	1031 SQ. FT.	2ND FLOOR	974 SQ. FT.
TOTAL	1649 SQ. FT.	TOTAL	1561 SQ. FT.
LIVING		LIVING	
GARAGE	501 SQ. FT.		

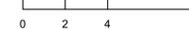


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PLAN 4 FLOOR PLANS

A7.4



1
ROOF AWNING w/ OUTLOOKERS/
BRACKETS



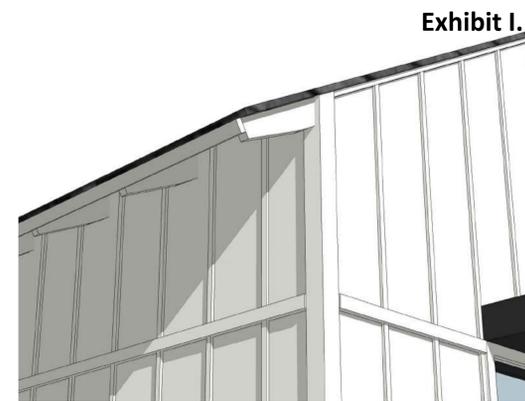
2
DECORATIVE ENTRANCE DOOR
w/ OPAQUE LITE



3
RECESSED WINDOW AT STUCCO
w/ SILL TRIM



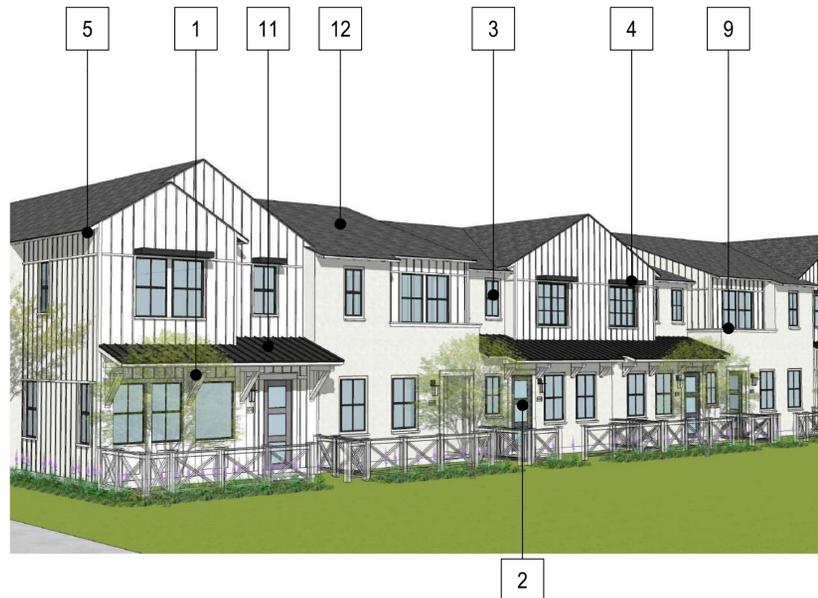
4
METAL AWNING OVER
WINDOW



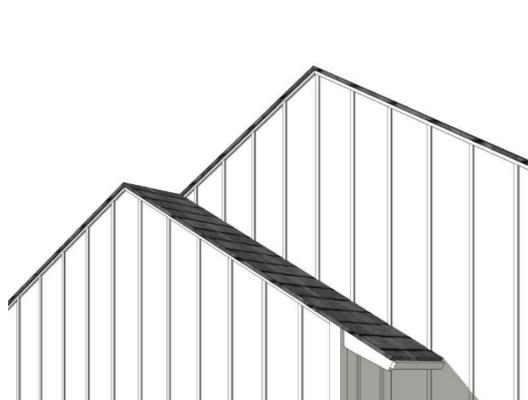
5
EXPOSED TRUSS TAILS w/
TIGHT GABLE ENDS



6
FIBER CEMENT THIN WINDOW
TRIM AND SILL



7
DECORATIVE WOOD CORBEL



8
BOARD & BATTEN SIDING



9
TRIM CAP AT STUCCO



10
ROLL UP METAL GARAGE DOOR



11
STANDING SEAM ROOF



12
COMPOSITE SHINGLE



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ENLARGED DETAIL BOARD
STYLE A - MODERN FARMHOUSE

A1.5



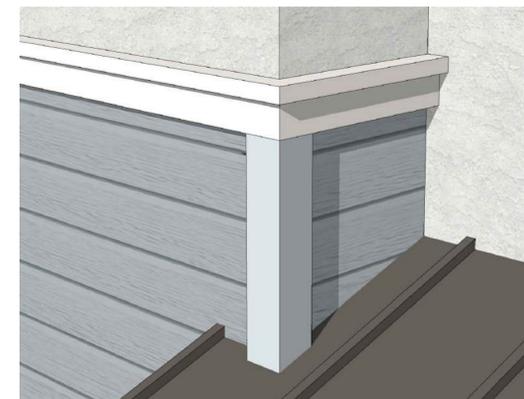
1
ROOF AWNING w/ OUTLOOKERS/
BRACKET AWNING



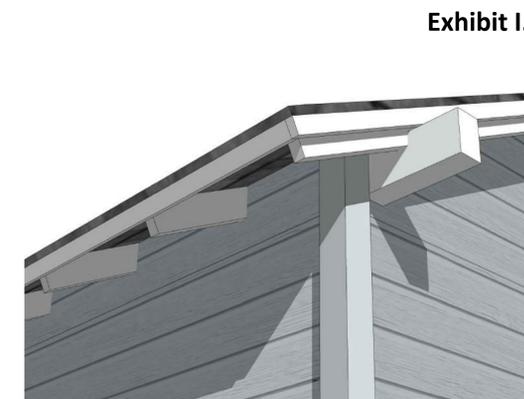
2
ENTRANCE DETAIL



3
RECESSED WINDOW AT STUCCO
w/ SILL TRIM



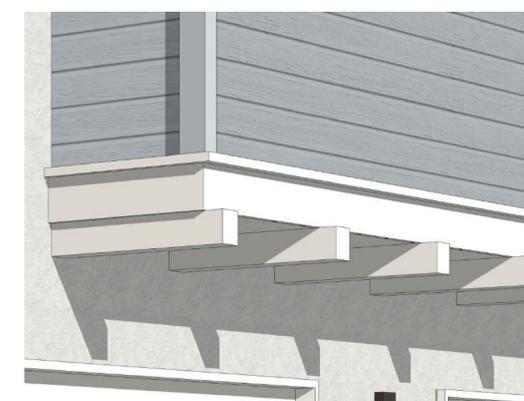
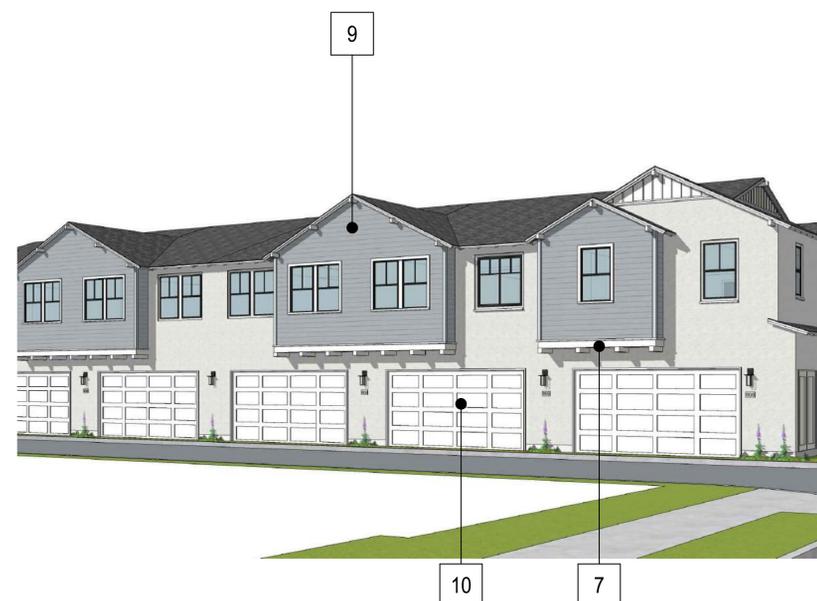
4
TRIM BOARD



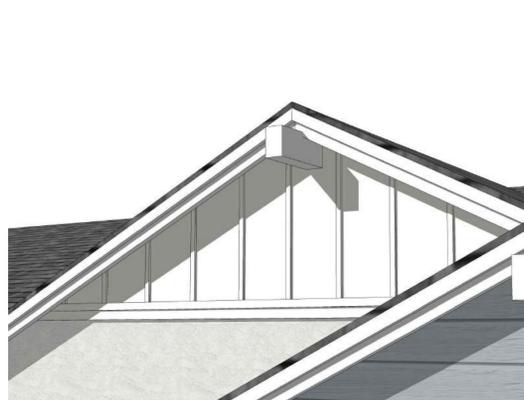
5
EXPOSED TRUSS TAILS w/ GABLE END
OVERHANG AND OUTLOOKER



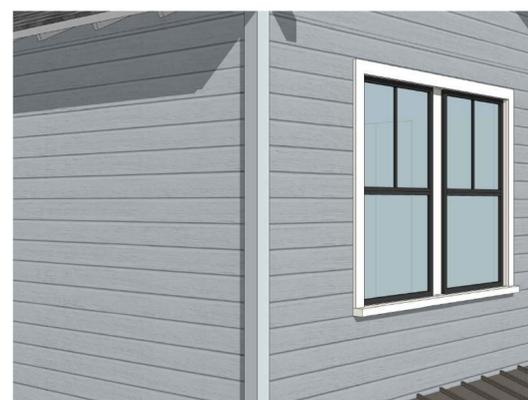
6
FIBER CEMENT WINDOW TRIM
AND SILL



7
DECORATIVE WOOD CORBEL



8
BOARD & BATTEN SIDING



9
HORIZONTAL SIDING w/ CORNER TRIM



10
ROLL UP METAL GARAGE DOOR



11
STANDING SEAM ROOF



12
COMPOSITE SHINGLE



Architecture + Planning
888.456.5849
ktgy.com

Olsen Ranch 212 LLC
530 Technology Drive, Suite 100
Irvine, CA 92618

VINEDO PA 2
PASO ROBLES, CA # 2023-0561

Plot Date: 03.05.2025
Architectural Review Submittal Set: 04.08.2024
2nd Planning Submittal Set: 01.22.2025
PC Meeting Set: 02.19.2025
Updated Meeting Set: 02.25.2025



ENLARGED DETAIL BOARD
STYLE B - COMMERCIAL AGRARIAN

A1.8

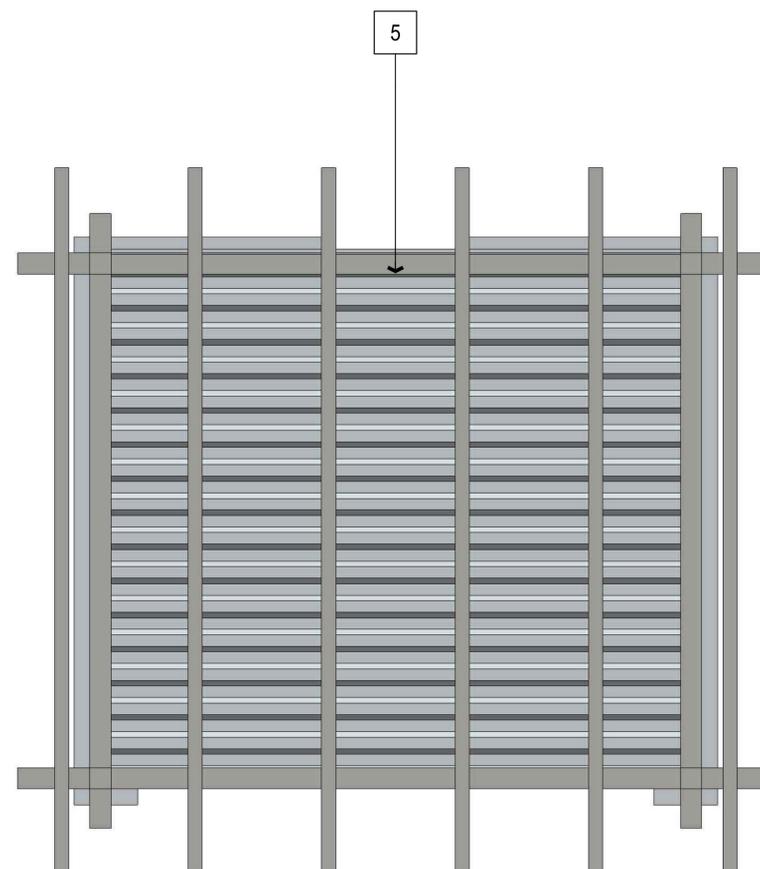
LEGEND

- | | | |
|---|--|----------------------------------|
| 1. BOARD & BATTEN SIDING OVER 8" CMU | 5. CORRUGATED METAL COVER MOUNTED TO UNDERSIDE OF TRELLIS MEMBERS - SLOPE TO DRAIN ONE SIDE / AND PROVIDE SMALL METAL LEADER BOX W/ GUTTER OUTSIDE | 7. 2X FLAT WOOD CAP |
| 2. 6" METAL COLUMN AND BEAM | 6. SLOPE TO DRAIN FROM CURB | 8. 2X4 TRIM |
| 3. METAL GATE W/ 3x4 METAL POST & CANE BOLTS/HOLE INSERTS | | 9. METAL GATE (OPTION) |
| 4. 2 DUMPSTER BINS/ 2 (95 GAL.) BINS | | 10. INSIDE CONCRETE 6" CURB STOP |

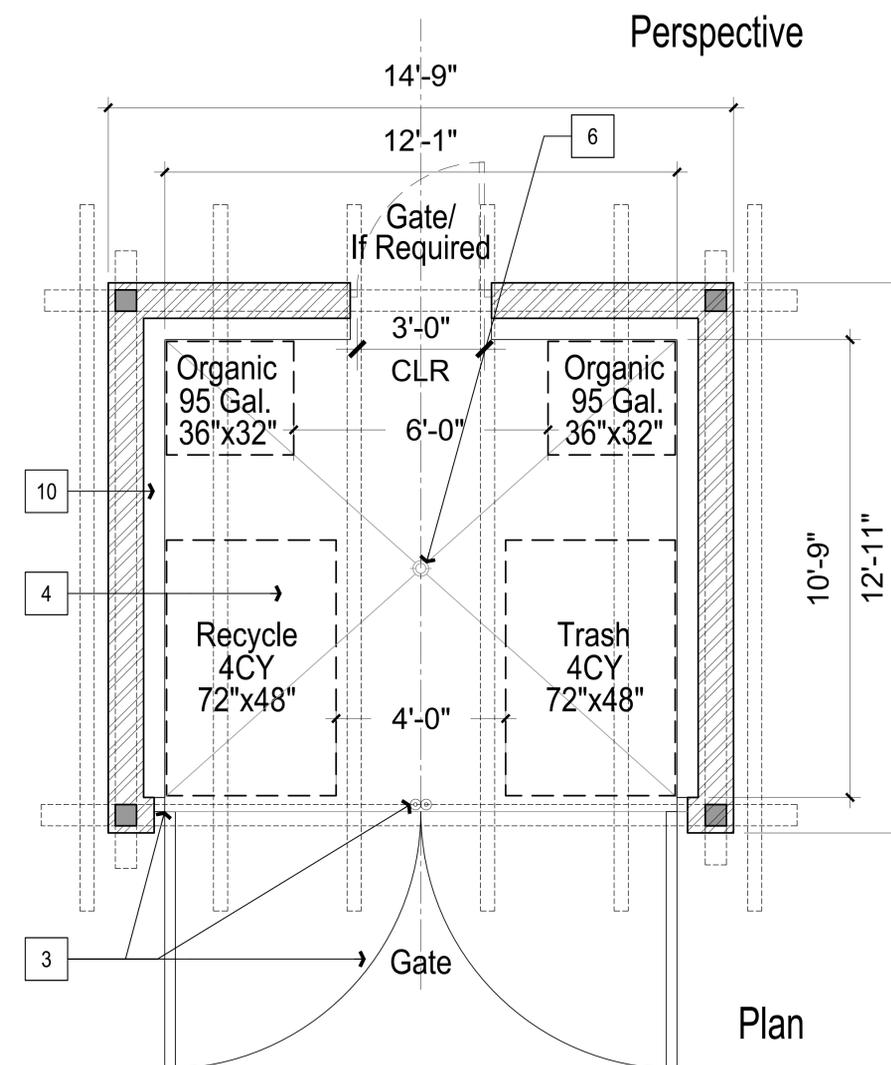
Typical Enclosure Size:
 8.94 Cubic Yards (CY) of Solid Waste
 95 Gal/.47 Cubic Yards - Organic
 4 CY - Trash
 4 CY - Recycling



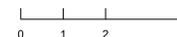
Perspective



Roof Plan



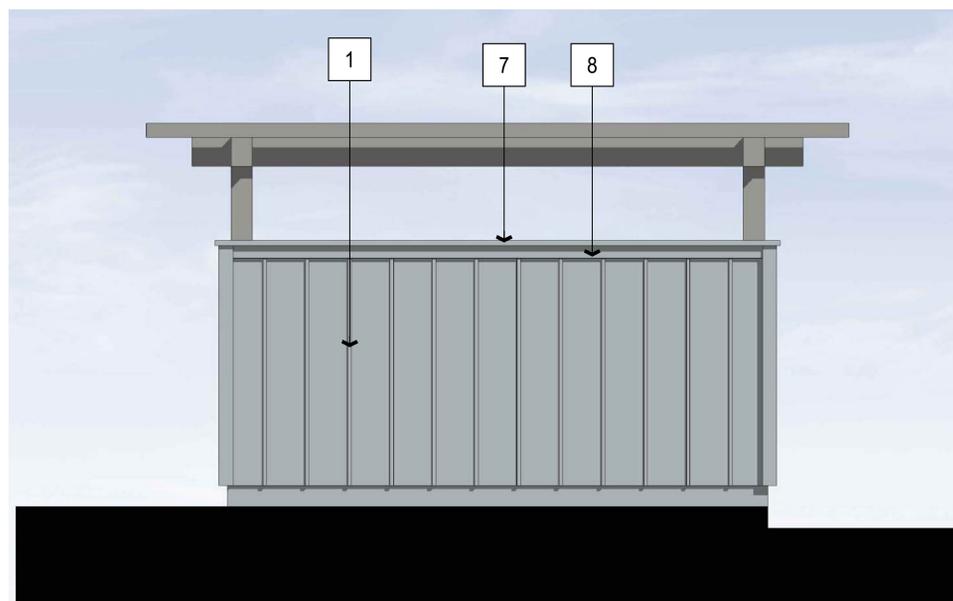
Plan



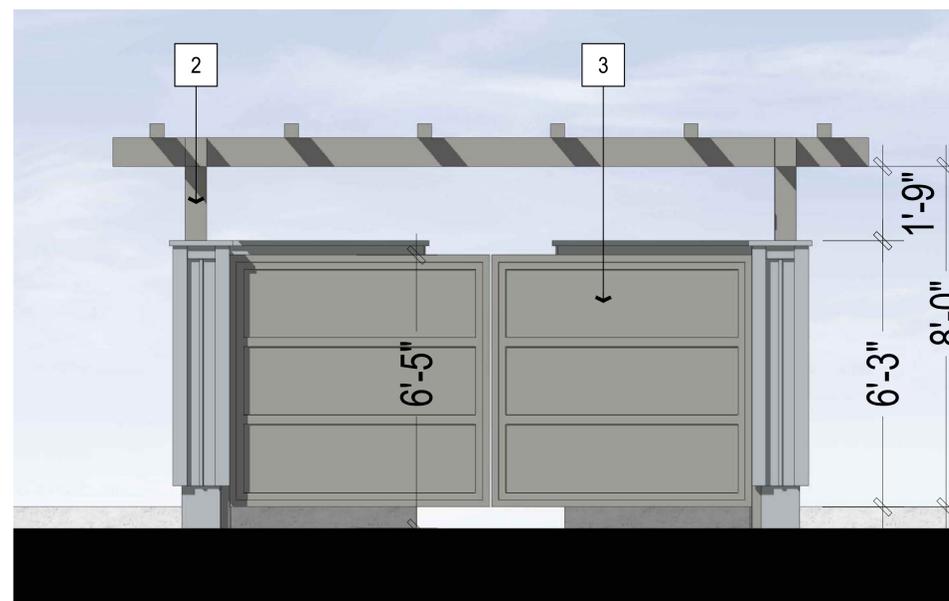
TRASH ENCLOSURE PLAN

LEGEND

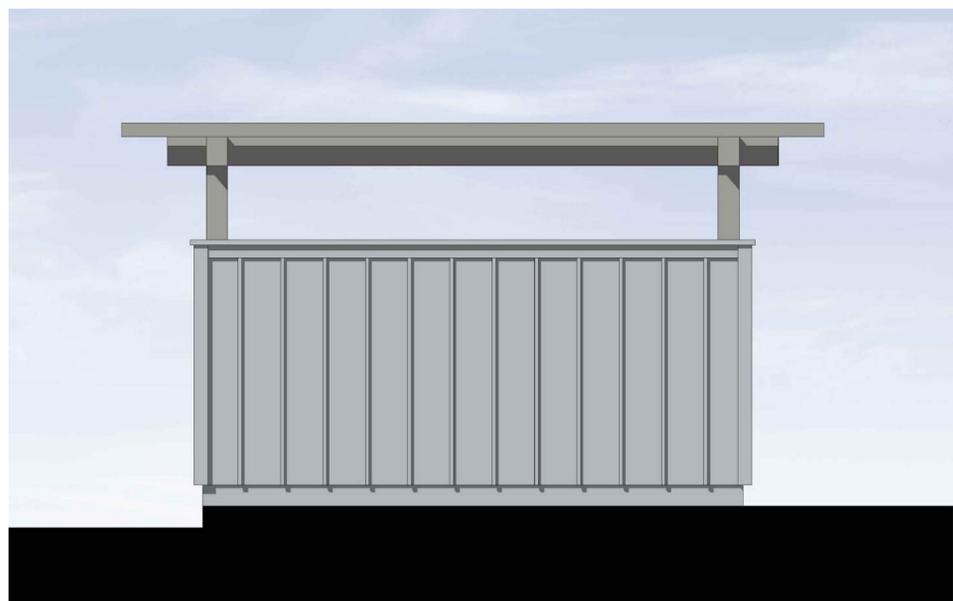
- | | | |
|---|--|----------------------------------|
| 1. BOARD & BATTEN SIDING OVER 8" CMU | 5. CORRUGATED METAL COVER MOUNTED TO UNDERSIDE OF TRELLIS MEMBERS - SLOPE TO DRAIN ONE SIDE / AND PROVIDE SMALL METAL LEADER BOX W/ GUTTER OUTSIDE | 7. 2X FLAT WOOD CAP |
| 2. 6" METAL COLUMN AND BEAM | 6. SLOPE TO DRAIN FROM CURB | 8. 2X4 TRIM |
| 3. METAL GATE W/ 3x4 METAL POST & CANE BOLTS/HOLE INSERTS | | 9. METAL GATE (OPTION) |
| 4. 2 DUMPSTER BINS/ 2 (95 GAL.) BINS | | 10. INSIDE CONCRETE 6" CURB STOP |



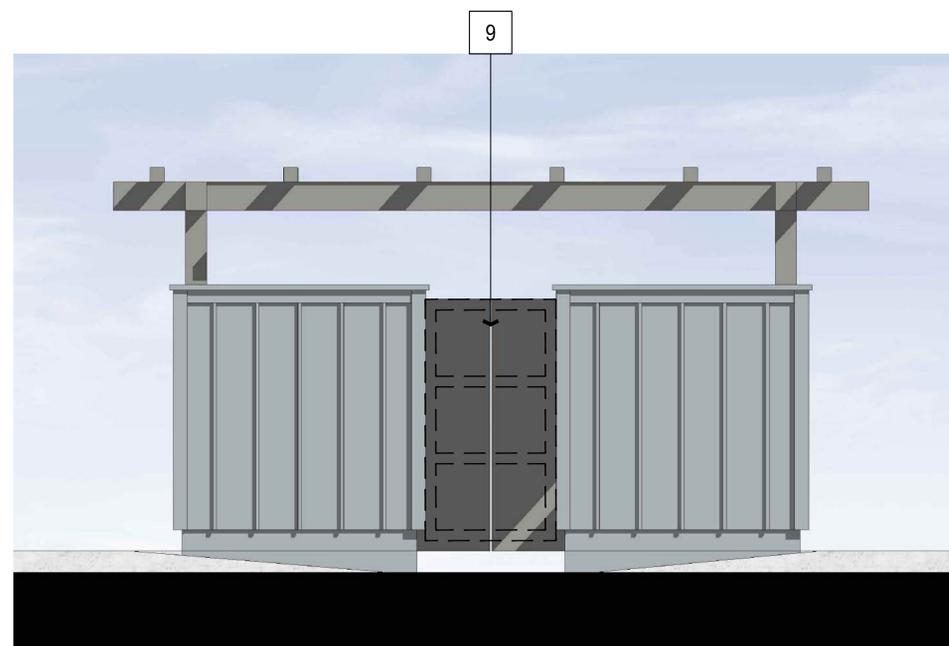
Left Elevation



Front Elevation



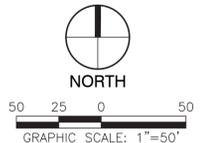
Right Elevation



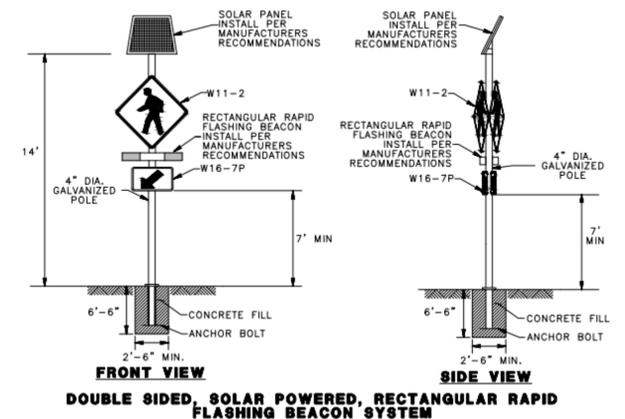
Rear Elevation



- STREET TREES, 24" BOX MINIMUM, SUCH AS:
KOELREUTERIA BIPINNATA / CHINESE FLAME TREE
LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ' / NATCHEZ CRAPE MYRTLE
PISTACIA CHINENSIS / CHINESE PISTACHE 78
- LARGE CANOPY TREES, SUCH AS:
ULMUS PARVIFOLIA 'DRAKE' / DRAKE LACEBARK ELM
ZELKOVA SERRATA / JAPANESE ZELKOVA 7
- MEDIAN TREES, SUCH AS:
GEIJERA PARVIFLORA / AUSTRALIAN WILLOW
PLATANUS X ACERIFOLIA / LONDON PLANE TREE 31
- FLOWERING ACCENT TREES, SUCH AS:
CERCIS OCCIDENTALIS / WESTERN REDBUD
LAGERSTROEMIA INDICA 'NATCHEZ' / CRAPE MYRTLE 122
- RIGHT-OF-WAY SHRUBS, SUCH AS:
ACHILLEA MILLEFOLIUM / COMMON YARROW
AGAVE X 'BLUE GLOW' / BLUE GLOW AGAVE
BACCHARIS PILULARIS 'PIGEON POINT' / PIGEON POINT COYOTE BRUSH
CALLISTEMON VIMINALIS 'LITTLE JOHN' / LITTLE JOHN WEEPING BOTTLEBRUSH
HESPERALOE PARVIFLORA 'STRAIGHT UP RED' / STRAIGHT UP RED YUCCA
MUHLENBERGIA RIGENS / DEER GRASS 13,090 SF
- ON-SITE SHRUBS, SUCH AS:
ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW
DIETES BICOLOR / FORTNIGHT LILY
HESPERALOE PARVIFLORA / RED YUCCA
SALVIA SPATHACEA 'LAS PILITAS' / LAS PILITAS HUMMINGBIRD SAGE
SALVIA X 'BEE'S BLISS' / BEE'S BLISS SAGE
FESTUCA MAIREI / ATLAS FESCUE
MUHLENBERGIA RIGENS / DEER GRASS 71,405 SF
- VINES, SUCH AS:
JASMINUM POLYANTHUM / PINK JASMINE
LONICERA SEMPERVIRENS / TRUMPET HONEYSUCKLE 1,416 SF
- TURF 2,925 SF
- PATH OF TRAVEL
- CONNECTION TO OTHER AMENITIES



RECTANGULAR RAPID FLASHING BEACON



LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ' / NATCHEZ CRAPE MYRTLE
 PISTACIA CHINENSIS / CHINESE PISTACHE



LARGE CANOPY TREES, SUCH AS:
 ULMUS PARVIFOLIA 'DRAKE' / DRAKE LACEBARK ELM
 ZELKOVA SERRATA / JAPANESE ZELKOVA



MEDIAN TREES, SUCH AS:
 GEIJERA PARVIFLORA / AUSTRALIAN WILLOW
 PLATANUS X ACERIFOLIA / LONDON PLANE TREE



FURNISHINGS



SALVIA SPATHACEA / LAS FLECHAS / LAS FLECHAS HUMMINGBIRD SAGE
 SALVIA X 'BEE'S BLISS' / BEE'S BLISS SAGE
 FESTUCA MAIREI / ATLAS FESCUE
 MUHLENBERGIA RIGENS / DEER GRASS



PLANT MATERIAL SELECTION

4.1 Landscape Design Guidelines

4.1.X COMMUNITY PLANT PALETTE

TREE PALETTE

SYM	COMMON NAME	BOTANICAL NAME	WUCOLS	DECIDUOUS/ EVERGREEN
T-1	STRAWBERRY TREE	ARBUTUS UNEDO	L	E
T-2	CHINESE FRINGE TREE	CHIONANTHUS RETUSUS	M	D
T-3	LEMON, ORANGE, ETC	CITRUS SPP.	M	E
T-4	AUSTRALIAN WILLOW	GEIJERA PARVIFLORA	M	E
T-5	GOLDENRAIN TREE	KOELREUTERIA PANICULATA	M	D
T-6	CRAPE MYRTLE (RED)	LAGERSTROEMIA INDICA 'DYNAMITE'	L	D
T-7	CRAPE MYRTLE (WHITE)	LAGERSTROEMIA INDICA 'NATCHEZ'	L	D
T-8	CRAPE MYRTLE (PINK)	LAGERSTROEMIA INDICA 'MUSKOGEE'	L	D
T-9	BAY LAUREL	LAURUS NOBILIS	L	E
T-10	SARATOGA BAY	LAURUS NOBILIS 'SARATOGA'	L	E
T-11	MAGNOLIA	MAGNOLIA GRANDIFLORA 'SAMUEL SOMMER'	M	E
T-12	OLIVE	OLEA EUROPAEA	VL	E
T-13	FRUITLESS OLIVE	OLEA EUROPAEA 'SWAN HILL'	VL	E
T-14	CHINESE PISTACHE	PISTACIA CHINENSIS 'KEITH DAVIES'	L	D
T-15	LONDON PLANE	PLATANUS X ACERIFOLIA AND CVS.	M	D
T-16	WESTERN SYCAMORE-NATIVE	PLATANUS RACEMOSA	M	D
T-17	HOLLY OAK	QUERCUS ILEX	L	E
T-18	VALLEY OAK - NATIVE	QUERCUS LOBATA	L	D
T-19	COAST LIVE OAK - NATIVE	QUERCUS AGRIFOLIA	L	E
T-20	BLUE OAK - NATIVE	QUERCUS DOUGLASII	VL	D
T-21	SOUTHERN LIVE OAK	QUERCUS VIRGINIANA	M	E
T-22	BRISBANE BOX	LOPHOSTEMON CONFERTUS	M	E
T-23	SAW LEAF ZELKOVA	ZELKOVA SERRATA	M	D

APPROVED
 Council Resolution 20-099
 2/20/20
 City of Paso Robles

PLANT MATERIAL HAS BEEN
 SELECTED BASED ON THE
 SPECIFIC PLAN AND FURTHER
 REFINEMENT OF SPECIES
 SELECTION BY CITY OF PASO
 ROBLES AND LANDSCAPE
 ARCHITECT CONSULTANT.



T-1 T-2 T-3 T-4 T-5

Attachment 4

Draft Resolution C

RESOLUTION PC 25-XXX

**A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
APPROVING A DENSITY TRANSFER OF 18 UNITS FROM PA-10 TO PA-2
AS PART OF THE OLSEN RANCH AND SOUTH CHANDLER RANCH SPECIFIC PLAN AREAS**

APPLICANT – OLSEN RANCH 212, LLC

WHEREAS, the Olsen-South Chandler Specific Plan (“Specific Plan” or “SP”) was approved by the City Council on February 20, 2020, the SP document can be found [here](#). The intent of the SP is to serve as a comprehensive guide to development of the 358-acre, 1,293 residential unit specific plan, located on the southeast side of the City, adjacent to the unincorporated San Luis Obispo County land; and

WHEREAS, as part of the approvals of the SP, Vesting Tentative Tract Map (VTTM) 3153 was approved, subdividing the various planning areas (“PA”) to accommodate the 1,293 residential units. Planning Area 2 was included in VTTM 3153, which approved 108-condominium units spread out over 4 lots; and

WHEREAS, since the approval of VTTM 3153, Olsen Ranch 212, LLC (the “Applicant”) has submitted VTTM 3227 proposing a new tentative map that would accommodate a total of 126-condominium units for PA-2; and

WHEREAS, in conjunction with VTTM 3227, the Applicant has submitted Planned Development 25-01 (“PD 25-01”), which provides the overall site planning for the tract, architecture, colors/materials palette, conceptual landscaping, which are found to be consistent with the development standards that were originally approved with the SP; and

WHEREAS, VTTM 3227 includes the transfer of 18 units from Planning Area 10 (“Our Town” or “PA 10”). SP Policy 2.1.6. which allows density transfers from one planning area to another within the Specific Plan as long as the overall unit count of 1,293 units is not exceed for the entire Specific Plan area (the “Project”); and

WHEREAS, the Planning Commission is the review authority responsible for approving density transfers within the SP; and

WHEREAS, the Development Review Committee (DRC) reviewed this Project at their meeting on January 27, 2025; and

WHEREAS, a Final Environmental Impact Report (EIR) was previously prepared for the Olsen-South Chandler Specific Plan and adopted by the City. The proposed Vesting Tentative Tract Map does not require additional review under CEQA pursuant to Public Resources Code section 21166 and CEQA Guidelines section 15162 and 15182, as no subsequent or supplemental EIR is required, because no

“substantial changes” to the Project or to the circumstances under which the Project was undertaken are proposed, and there are no “new significant environmental effects” or a “substantial increase in the severity of previously identified significant effects” under the existing EIR; and

WHEREAS, a duly noticed hearing was conducted on April 8, 2025 to allow the Planning Commission to consider the facts in the staff report prepared, and to accept public testimony regarding the project.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Paso Robles, as follows:

Section 1. Recitals. The Planning Commission hereby finds that the foregoing recitals are true and correct and are incorporated herein as substantive findings of this Resolution.

Section 2. Compliance with the California Environmental Quality Act. A Final Environmental Impact Report (EIR) was previously prepared and adopted per City Council Resolution 20-024 for the Olsen-South Chandler Specific Plan that analyzed the proposed Project’s environmental impacts pursuant to CEQA (SCH No. 2019011065). The proposed Vesting Tentative Tract Map does not require additional review under CEQA pursuant to Public Resources Code section 21166 and CEQA Guidelines section 15162 and 15182, as no subsequent or supplemental EIR is required, because no “substantial changes” to the Project or to the circumstances under which the Project was undertaken are proposed, and there are no “new significant environmental effects” or a “substantial increase in the severity of previously identified significant effects” under the existing EIR. The Planning Commission finds that this Project is within the scope of the EIR, which adequately describes the activity for the purposes of CEQA such that no additional environmental assessment is required.

Section 3. Findings for Approval of Density Transfer. Based on the facts and analysis presented to it, including all written and oral testimony and staff presentations, and subject to the Conditions of Approval and attachments hereto, the Planning Commission finds as follows:

1. The Olsen-South Chandler Specific Plan Policy 2.1.6 allows density transfers within the planning areas of the Specific Plan, as long as the overall unit count of 1,293 units is not exceeded for the entire Specific Plan area. As the transfer of 18 units from PA-10 to PA-2 will not increase the overall 1,293 units for the Specific Plan, or cause the maximum densities of PA 2 or PA 10 to be exceeded, the density transfer is consistent with Specific Plan Policy 2.1.6.
2. The Olsen-South Chandler Specific Plan Policy 2.1.6 allows density transfers within the planning areas of the Specific Plan, as long as the maximum densities of the PAs are not exceeded. The project is within the Residential Multifamily (RMF) land use designation with a Specific Plan sub land use. The proposed use is a residential townhome project which is an allowed use at this location. The increase in density from 8.4 units per gross acre to approximately 11.2 units per gross acre, remains consistent with the General Plan land use category of Residential Multifamily (RMF). As the transfer of 18 units from PA-10 to PA-2 will not cause the maximum densities of PA 2 or PA 10 to be exceeded, the density transfer is consistent with Specific Plan Policy 2.1.6 .

Section 4: Approval. The Planning Commission does approve the transfer of 18 units from PA -10 to PA - 2 within the Olsen-South Chandler Specific Plan, subject to the following:

EXHIBIT	DESCRIPTION
A	Olsen-South Chandler Specific Plan – Table 2.1.B Density Allocation Table
B	Email Confirmation of Transfer Between Owners

PASSED AND ADOPTED THIS 8th day of April 2025 by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

ROBERT COVARRUBIAS, CHAIRPERSON

ATTEST:

WARREN FRACE, PLANNING COMMISSION SECRETARY

Exhibit A - Olsen South chandler Specific Plan - Table 2.1.B Density Allocation Table

Exhibit B – Email Confirmation of Transfer Between Owners

Exhibit A

Olsen – South Chandler Specific Plan

Table 2.1.B. Density Allocation Table

Policy 2.1.5. Density Transfer Tracking Table

Planning Area	Product	2/20/2020 Specific Plan Allocation Resolution CC20-026			4/26/2022 Density Transfer Resolution PC22-010		4/8/2025 Density Transfer Resolution PC25-xxx	
		Units	Gross AC	Gross Density	PA-10 to PA-8	New Total	PA-10 to PA-2	New Total
PA-1	Apartments	60	2.9	20.5		60		60
PA-2	Townhomes	108	12.9	8.4		108	18	126
PA-3	40x80s	48	10.5	4.6		48		48
PA-4	SFD	86	31.4	2.7		86		86
PA-5	SFD	87	24.8	3.5		87		87
PA-8*	MDR	13	1.1	11.8	13	26		26
PA-9**	MDR	119	11.8	10.1		119		119
PA-10A	OurTown SFD	121	14.5	8.3	-13	108	-18	90
PA-10B	MDR	12	2.1	5.7		12		12
PA-11	40x80s	55	13.2	4.1		55		55
PA-12	40x80s	42	8.5	5		42		42
PA-13	Motorcourts	129	16.4	7.9		129		129
PA-15	SFD	55	14.7	3.8		55		55
PA-17	SFD	53	13.6	3.9		53		53
PA-18	SFD	43	10.1	4.3		43		43
PA-19	SFD	108	45	2.4		108		108
PA-20	SFD	59	16.3	3.6		59		59
PA-23	SFD	95	29.5	3.2		95		95
Totals		1293	279.3	4.6		1293		1293

*PA-8 Neighborhood Commercial Overlay District. Maximum Non-Residential Uses not to exceed 9,800 SF at 0.25 FAR. See the Commercial Agrarian Design Guidelines for additional standards.

**PA-9 School Site Overlay District.

Exhibit B

From: Wayne Condict <wacondict@gmail.com>

Date: March 6, 2025 at 12:29:50 PM PST

To: DAthey@prcity.com, wfrace@prcity.com, Danny Brose <dannybrose@live.com>, brosenicholas@gmail.com

Subject: Our Town Village Realty, Inc. Transfer of Twenty (20) Density Units in PA10B

Dear Dave and Warren:

Please be advised that it is the intention of Our Town Village Realty, Inc. to transfer twenty (20) Residential Density Units (RDU) of the combined 140 RDUs allocated to Planning Areas 10A and 10B to Olsen Ranch 212 LLC per our agreement with them.

Sincerely,

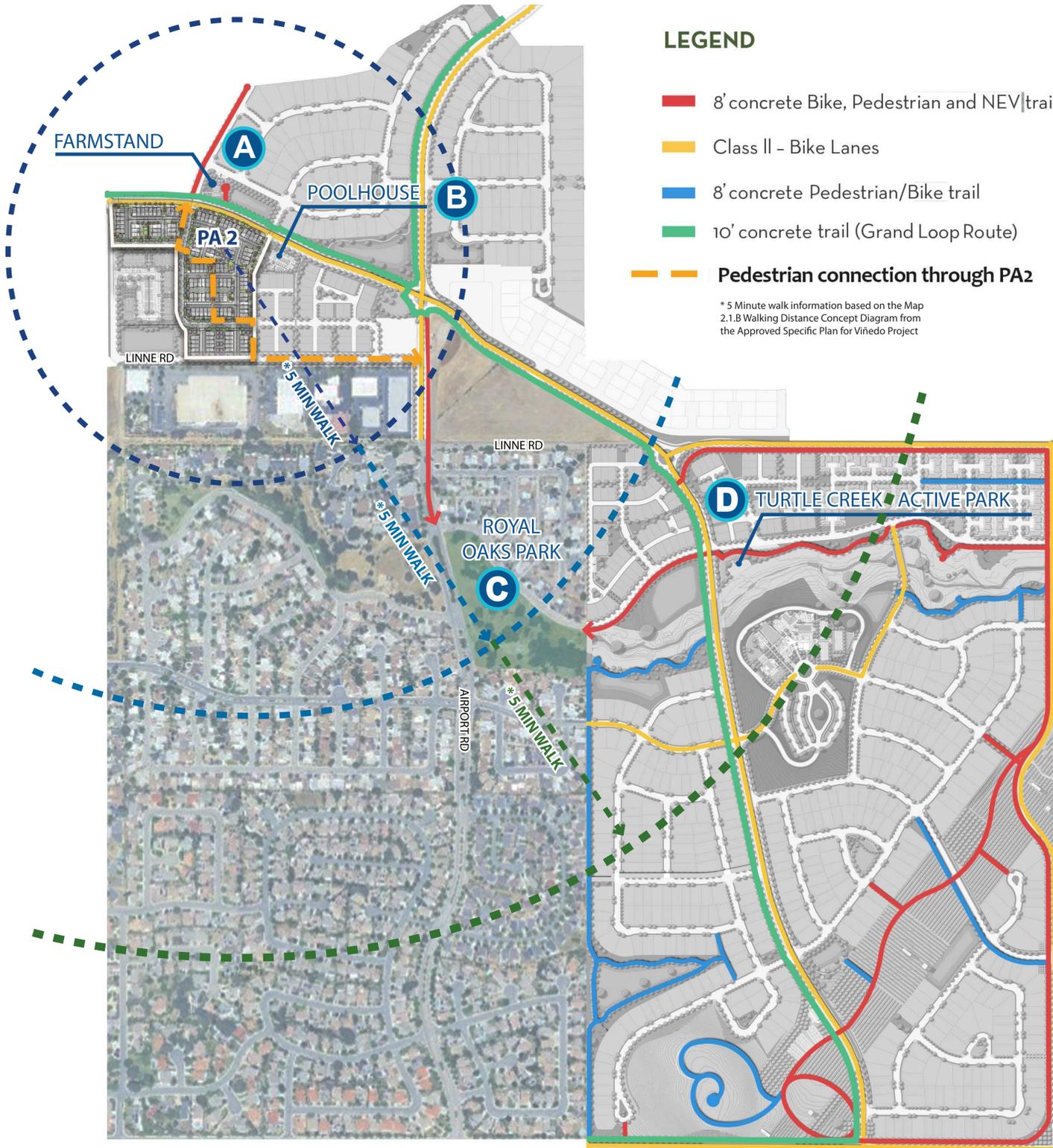
Wayne A. Condict

President

Our Town Village Realty, Inc.

2.2 | Circulation Plan

2.2.B MULTI-MODAL NETWORK MAP (N.E.V, BIKE, PED PATHS & TRAILS)



A FARMSTAND - 5 MIN. OR LESS



B POOLHOUSE - 5 MIN. OR LESS

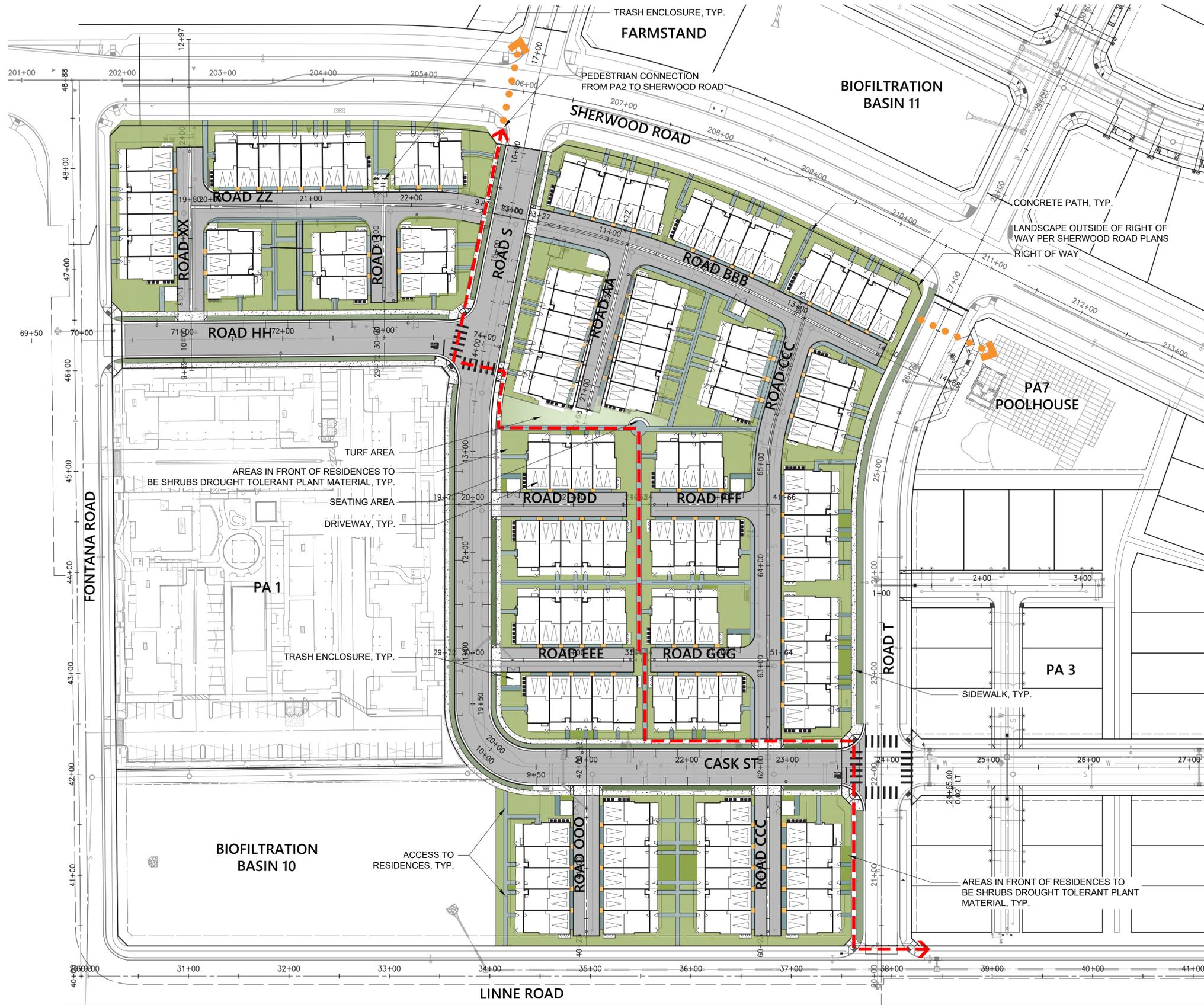


C ROYAL OAKS PARK - 10 MIN. OR LESS



D TURTLE CREEK - ACTIVE PARK - 15 MIN. OR LESS





- 
STREET TREES, 24" BOX MINIMUM, SUCH AS:
KOELREUTERIA BIPINNATA / CHINESE FLAME TREE
LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ' / NATCHEZ CRAPE MYRTLE
PISTACIA CHINENSIS / CHINESE PISTACHE
78

- 
LARGE CANOPY TREES, SUCH AS:
ULMUS PARVIFOLIA 'DRAKE' / DRAKE LACEBARK ELM
ZELKOVA SERRATA / JAPANESE ZELKOVA
7

- 
MEDIAN TREES, SUCH AS:
GEIJERA PARVIFLORA / AUSTRALIAN WILLOW
PLATANUS X ACERIFOLIA / LONDON PLANE TREE
31

- 
FLOWERING ACCENT TREES, SUCH AS:
CERCIS OCCIDENTALIS / WESTERN REDBUD
LAGERSTROEMIA INDICA 'NATCHEZ' / CRAPE MYRTLE
122

- 
RIGHT-OF-WAY SHRUBS, SUCH AS:
ACHILLEA MILLEFOLIUM / COMMON YARROW
AGAVE X 'BLUE GLOW' / BLUE GLOW AGAVE
BACCHARIS PILULARIS 'PIGEON POINT' / PIGEON POINT COYOTE BRUSH
CALLISTEMON VIMINALIS 'LITTLE JOHN' / LITTLE JOHN WEEPING BOTTLEBRUSH
HESPERALOE PARVIFLORA 'STRAIGHT UP RED' / STRAIGHT UP RED YUCCA
MUHLENBERGIA RIGENS / DEER GRASS
13,090 SF

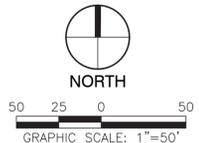
- 
ON-SITE SHRUBS, SUCH AS:
ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW
DIETES BICOLOR / FORTNIGHT LILY
HESPERALOE PARVIFLORA / RED YUCCA
SALVIA SPATHACEA 'LAS PILITAS' / LAS PILITAS HUMMINGBIRD SAGE
SALVIA X 'BEE'S BLISS' / BEE'S BLISS SAGE
FESTUCA MAIREI / ATLAS FESCUE
MUHLENBERGIA RIGENS / DEER GRASS
71,405 SF

- 
VINES, SUCH AS:
JASMINUM POLYANTHUM / PINK JASMINE
LONICERA SEMPERVIRENS / TRUMPET HONEYSUCKLE
1,416 SF

- 
TURF
2,925 SF

- 
PATH OF TRAVEL

- 
CONNECTION TO OTHER AMENITIES





AFFIDAVIT
OF MAIL NOTICES
PLANNING COMMISSION NOTICING

I, Marci Reynoso, employee of the City of El Paso de Robles, California, do hereby certify that the mail notices have been processed as required for April 8, 2025 public hearing for P24-0038 / VTTM 3227 / PD25-01 on this 27th of March, 2025.

City of El Paso de Robles
Community Development Department
Planning Division

Signed: Marci Reynoso
Marci Reynoso



1010 Marsh St., San Luis Obispo, CA 93401
(805) 546-8208 • FAX (805) 546-8641

PROOF OF PUBLICATION
(2015.5 C.C.P.)

Proof of Publication of

STATE OF CALIFORNIA,
County of San Luis Obispo,
I am a citizen of the United States and a resident of the county aforesaid; I am over the age of eighteen years, and not a party interested in the above entitled matter. I am the principal clerk of the printer of the *New Times*, a newspaper of general circulation, printed and published weekly in the City of San Luis Obispo, County of San Luis Obispo, and which has been adjudged a newspaper of general circulation by the Superior Court of the County of San Luis Obispo, State of California, under the date of February 5, 1993, Case number CV72789; that notice of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to-wit:

March 27

in the year 2025.

I certify (or declare) under the the penalty of perjury that the foregoing is true and correct.

Dated at San Luis Obispo, California, this day 27 of March, 2025.

Patricia Horton

Patricia Horton, *New Times* Legals

 **NOTICE OF PLANNING COMMISSION PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that the City of Paso Robles Planning Commission will hold a **Public Hearing** to consider the following project:

Project Description:
Request for approval of Vesting Tentative Tract Map 3227 and Development Plan PD 25-01 for the development of 126 condominium units for Planning Area 2 of the Olsen South Chandler Specific Plan (Vinedo).

Applicant:
Olsen 212, LLC

Location:
Southeast corner of Fontana Road at Sherwood Road / APN 025-382-002

CEQA Determination:
An Environmental Impact Report SCH#2019011065 (EIR) was approved for the Specific Plan. The proposed project would be consistent with the EIR and Specific Plan.

Hearing Date:
The Planning Commission will hold a Public Hearing on **April 8, at 6:30 p.m.** in the Council Chamber/Library Conference Center, 1000 Spring Street, Paso Robles, CA 93446.

The public has the option to attend the meeting in person or to participate remotely. To participate remotely, residents can livestream the meeting at www.prcity.com/youtube, and call (805)865-7276 to provide live public comment via telephone. The phone line will open just prior to the start of the meeting.

Written public comments can be submitted via email to planning@prcity.com or US Mail (submit early) to the Community Development Department, 1000 Spring Street, Paso Robles, CA 93446 provided that the comments are received prior to the time of the public hearing. Comments received prior to 12:00 noon on the day of the meeting will be posted as an addendum to the agenda. If submitting written comments, please note the agenda item by number or name. Comments on the proposed application must be received prior to the time of the hearing to be considered by the Planning Commission.

Challenge to the application in court will be limited to issues raised at the public hearings or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

Copies of the project staff report will be available for review on the City's website (www.prcity.com/meetings) on the Friday preceding the hearing. If you have any questions, please contact the Community Development Department at (805) 237-3970.

March 27, 2025



CITY OF EL PASO DE ROBLES

"The Pass of the Oaks"

Development Review Committee Minutes

February 24, 2025, 3:30 p.m.

Large Conference Room - 2nd Floor

1000 SPRING ST

Paso Robles, CA 93446

Commissioners present: Robert Covarrubias, Eric Marlow, Ty Christensen (arrived late)

Staff present: Darcy Delgado, Katie Banister, Dante Pecchenino, Piper Smith

Applicants and others present: Virgil Quina, Donald Plumb, Rebecca Newman, Debbie Van Steenwyck, Ashley Lorenz, Nina Moises, Paul Sloan, Nelson Bernal

A. **CALL TO ORDER**

B. **ROLL CALL**

C. **DISCUSSION ITEMS**

1. **Item 1**

File #: B22-0730/SGN25-03 (P25-0006)

Requested Action: DRC Final Action

Application: Substantial compliance determination and new signage

Location: 120 Niblick Rd

Applicant: AHDC and Donald Plumb Signs

Discussion: This was the second review of a sign, since the DRC had determined at their 2/3/25 meeting that the changes to the tower on the building needed to be revisited for substantial compliance concurrently with the review of the sign. The sign proposal discussed at the previous meeting remains unchanged. There is a new stucco foam trim that was added to the tower, painted the same color as the window trim used elsewhere on the building. The DRC was comfortable approving both the sign and the new trim band as substantially compliant, especially since the trim broke up the tower's massing while serving the same purpose as the original plans for a setback.

Action: Sign was approved as proposed and the determination was that the tower was substantially compliant with the approved building permit plans.

2. **Item 2**

File #: P24-0097/SGN 24-02

Requested Action: DRC Final Action

Application: Sign program for The Ava Hotel and commercial tenant shops

Location: 944 Pine Street

Applicant: Arris-Studio Architects

Discussion: Staff presented the proposal to establish a sign program for the new Ava Hotel and ground floor shops, since a sign program was not established when the project was originally entitled. The plan shows a variety of signs for the hotel itself as well as a specific sign program for the ground floor shop tenants, which the DRC agreed were attractive to the building and in scale with the Specific Plan criteria. Most of the signs are either halo-lit, or not illuminated. There are two directional signs at the entrance of the surface parking lot to guide vehicle traffic, which will be internally illuminated. These signs are 2'x2' and recessed into a brick wall. The DRC was supportive of all of the signs, and noted that although the directional signs would be internally lit, they are a modest size and do not appear to be too bright due to the letter size.

Action: The DRC approved the sign program as proposed.

3. Item 3

File #: P24-0076 / SPR24-11 / MOD25-04

Requested Action: DRC Final Action

Application: Site Plan Review for a conversion of an existing dental office into 4 residential units with a modification for open space requirements.

Location: 433 12th Street

Applicant: Catch Architecture for Doris Sloan

Discussion: The DRC reviewed the project and expressed concern with the safety of the proposed cactus plant materials and a preference for providing more parking instead of the open space staff had recommended.

Action: The project was approved with the following conditions:

- The applicant has the option to provide more parking spaces instead of open space,
- The landscape plan shall omit the prickly cactus plant materials, and
- A setback modification for the trash enclosure is approved to allow the enclosure to be turned to face the alley to accommodate the solid waste managers recommendation.

Findings: In approving Site Plan Modification 25-04, the DRC makes the following findings:

21. There are no feasible alternatives to the requested modification, such as an incentive or concession allowed through a Density Bonus (PRMC Chapter 21.61), that could provide an equivalent level of benefit to the

applicant with less potential detriment to surrounding owners and occupants or to the public.

22. The modification will not be detrimental to the health, safety, or general welfare of the persons within the vicinity.
23. The modification results in a superior project (such as more usable open space, more creative design, better interface with neighboring properties and/or public realm, less grading or a less exposed public view of grading, protection of oak trees, provision of deed-restricted affordable housing, etc.)
24. The characteristics of the project and the degree of potential for the project to negatively impact neighboring properties justify the modification.
25. The modification does not preclude or prevent adequate fire protection.
26. The modification does not impair the sight distance of vehicles on the street or on the driveway of adjacent lots.
27. The modification complies with any additional findings or conditions for the individual modification.

4. Item 4

File #: P22-0086 / CUP22-15 / B24-0353 / ADD25-0013

Requested Action: DRC Final Action

Application: Request for a finding of substantial compliance. The applicant received a conditional use permit from the Planning Commission for a detached garage that is more than 50% of the size of the primary residence. The applicant would like to enclose an approved carport with walls.

Location: 1764 Union Road

Applicant: Paul and Wendy Gambel

Discussion: DRC members asked whether the Planning Commission made a specific determination that the carport must be open in approving the CUP. Staff explained that the project was approved by the Planning Commission as it was presented to them, and the enclosed space was not limited for a particular known reason.

Action: The DRC determined the project with an enclosed carport space was in substantial compliance with CUP22-15 and could proceed as proposed.

D. ADJOURNMENT

THESE MINUTES ARE NOT OFFICIAL OR A PERMANENT PART OF THE RECORDS UNTIL APPROVED BY THE CITY COUNCIL AT A FUTURE REGULAR MEETING



CITY OF EL PASO DE ROBLES

"The Pass of the Oaks"

Development Review Committee Minutes

March 3, 2025, 3:30 p.m.
Large Conference Room - 2nd Floor
1000 SPRING ST
Paso Robles, CA 93446

Commissioners present: Ty Christensen, Pat Connally and Eric Marlow

Staff present: Daren Nash, Darcy Delgado, Piper Smith, and Katie Banister

Applicants and others present: Lee Carter, Gregory Becker, Joel Peterson, Larry Gabriel, Jamie Jones, and Ashley McPhail

A. **CALL TO ORDER**

B. **ROLL CALL**

C. **DISCUSSION ITEMS**

1. **Item 1**

File #: SGN24-16 (P24-0081)

Requested Action: DRC Final Action

Application: New wall mounted signage

Location: 2125 Golden Hill Road

Applicant: Amy Perez with Carter Permit Consulting

Discussion: Monument sign, will we see another application.

Action: Approved as proposed with freestanding sign removed.

2. **Item 2**

File #: SGN25-05 / MOD25-03 (P25-0008)

Requested Action: DRC Final Action

Application: New hanging sign

Location: 1314 Spring Street

Applicant: Paso Robles Wine Country Alliance / Southpaw

Discussion: Project includes one hanging metal sign facing Spring Street. The sign will be moved from the original location of PRWCA. Only changes to the existing sign include painting the boarder black/dark brown to match the new location. The sign would be affixed to the soffit over the door. If the sign is unable to be

affixed hanging, discussion was had about mounting it to the wall on either side of the door.

Action: Approved as either wall-mounted (on either side of the door) or as a hanging sign with length modification. No illumination without further approval.

3. Item 3

File #: SPR24-13 / CUP24-10 (P24-0098)

Requested Action: DRC Recommendation to the Planning Commission

Application: Remodel of an existing commercial building into a community market, deli, and private meeting facility. The project includes dedicated parking for a food truck.

Location: 2508 Spring Street

Applicant: Gabriel Architects for Veraison Wine Country Properties

Discussion: The discussion largely focused on the floor plan which the applicant has described as a community market. Staff expressed concern that the floor plan shows wine and beer tasting as the primary use, which is not allowed as the primary use in the T4-F district. Staff would not have the authority to approve business licenses for individual winetasting users on the site. The DRC was generally supportive of the proposed changes to the exterior of the building.

Action: The DRC determined the applicant would not be able to proceed with the proposed floor plan. If the applicant would like to proceed, the floor plan would need to be revised to show a bone fide market with wine tasting as an accessory use. The percentage of floor area dedicated to winetasting was not the primary factor in determining which use is the primary use on the site. Individual kiosks that are not winetasting were not a concern to the DRC. The applicant was also instructed to work with staff on signage and parking.

D. ADJOURNMENT

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BY THE CITY COUNCIL AT A FUTURE REGULAR MEETING



CITY OF EL PASO DE ROBLES

"The Pass of the Oaks"

Development Review Committee Minutes

March 10, 2025, 3:30 p.m.
Large Conference Room - 2nd Floor
1000 SPRING ST
Paso Robles, CA 93446

Commissioners present: Ty Christensen and Pat Connally

Staff present: Katie Banister

Applicants and others present: Michelle Rollins

A. **CALL TO ORDER**

B. **ROLL CALL**

C. **DISCUSSION ITEMS**

1. **Item 1**

File #: B24-0858, E24-0022, SPR25-04, MOD25-05, P25-0020

Requested Action: DRC Final Action

Application: Modification to allow alternative driveway surface materials.

Location: 1761 Union Road

Applicant: Michelle Rollins

Discussion: The applicant has applied for permits to construct an ADU with a large workshop attached. The workshop includes several vehicle-sized rollup doors, but the applicant is not proposing to provide a driveway that complies with Zoning requirements to the building. Due to the size of the lot, which is more than 1 acre, the applicant is eligible to request a Site Plan Modification to allow alternative driveway materials consistent with PRMC 21.48.110.A.5.b.

Action: The Development Review Committee determined a driveway is required to serve each garage door provided. A single driveway to the rear (north) rollup door is sufficient if the rollup door in the front elevation (south) is removed or changed to French or similar doors. The driveway to the rear rollup door is approved to be constructed with an all weather surface. Any future change to the materials of the existing driveway requires further review by the Development Review Committee.

Findings: In approving Site Plan Modification 25-05, the Development Review Committee makes the following findings:

1. There are no feasible alternatives that could provide an equivalent level of benefit to the applicant with less potential detriment to surrounding owners and occupants or to the public.
2. The modification will not be detrimental to the health, safety, or general welfare of the persons within the vicinity.
3. The modification results in a superior project
4. The characteristics of the project and the degree of potential for the project to negatively impact neighboring properties justify the modification.
5. The modification does not preclude or prevent adequate fire protection.
6. The modification does not impair the sight distance of vehicles on the street or on the driveway of adjacent lots.
7. Adequate mechanisms are installed and maintained to prevent track out of nonpermanent driveway materials from tires before reaching any public right-of-way.
8. The driveway material alternation complies with Fire Department and City Engineering Standards.

D. ADJOURNMENT

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BY THE CITY COUNCIL AT A FUTURE REGULAR MEETING



CITY OF EL PASO DE ROBLES

"The Pass of the Oaks"

Development Review Committee Minutes

March 17, 2025, 3:30 p.m.
Large Conference Room - 2nd Floor
1000 SPRING ST
Paso Robles, CA 93446

Commissioners present: Mark Koegler and Pat Connolly

Staff present: Darcy Delgado, Warren Frace, Dante Pecchenino, and Katie Banister

Applicants and others present: Christian Mercado, Yosimar Ramos

A. **CALL TO ORDER**

B. **ROLL CALL**

C. **DISCUSSION ITEMS**

1. **Item 1**

File #: CUP 24-03 (Amending CUP 87-006) / P24-0021

Requested Action: Recommendation to Planning Commission

Application: Amendment to the Conditional Use Permit to expand the auto repair use.

Location: 639 Creston Road

Applicant: Christian Mercado

Discussion: Staff provided an overview of the site, the original conditional use permit from 1987, and code enforcement which began in 2016. Over the years, Planning Commission has reviewed the project against a variety of neighbor complaints, and given the applicant the opportunity to bring the site back into compliance. With this current request, the applicant is wanting to amend the CUP to support as-built changes made to the site, including installation of a 6-foot tall perimeter fence which has enclosed a portion of the property not originally included with the 1987 CUP. Additionally, as a result of the enclosed area, vehicles and storage behind the fence have resulted in a land use conflict creating a nonconforming outdoor storage yard which is not permitted in this zone. Based on the concerns that the as-built condition does not conform to the underlying zoning, staff provided a recommended site plan which showed scaling back the fenced area and increasing onsite parking. The applicant expressed their concern with regard to needing more parking, which includes parking for two

additional structures the applicant would like to build, and the DRC members asked for a more thorough analysis to be provided to the Planning Commission. Overall, the DRC members indicated the applicant would be going in the right direction by utilizing staff's recommendation, since the site appeared to be overly intense in its current state.

Action: This item will be heard at an upcoming Planning Commission meeting.

D. ADJOURNMENT

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BY THE CITY COUNCIL AT A FUTURE REGULAR MEETING



CITY OF EL PASO DE ROBLES

"The Pass of the Oaks"

Development Review Committee Minutes

March 24, 2025, 3:30 p.m.
Large Conference Room - 2nd Floor
1000 SPRING ST
Paso Robles, CA 93446

Commissioners present: Ty Christensen, Pat Connally and Eric Marlow

Staff present: Darcy Delgado

Applicants and others present: Mike Harrod

A. **CALL TO ORDER**

B. **ROLL CALL**

C. **DISCUSSION ITEMS**

1. **Item 1**

File #: B24-0759

Requested Action: DRC Final Action

Application: Review architectural details prior to issuance of building permit.

Location: 1908 Catahoula Court

Applicant: Mike Harrod for Harrod Homes, Inc.

Discussion: Staff provided an overview of the subdivision and the requirement for the DRC to review and approve final building elevations including colors and materials, as well as any proposed landscaping/fencing for building permits prior to their issuance. The DRC was okay with the color scheme, materials, and understood the landscaping is for a spec home and is not as robust on the plans, but will be done tastefully as Mike indicated through examples of other spec homes he recently completed. DRC also discussed the fencing plan and Mr. Harrod indicated he would most likely match the existing trim cap fence at the front elevation of the house.

Action: The DRC approved the plans as proposed.

D. **ADJOURNMENT**

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2025 DRC Schedule

Mondays at 3:30pm

Large Conference Room, City Hall 2nd Floor

1000 Spring Street, Paso Robles CA

Month	Commissioners		
February 2025	Marlow	Christensen	Covarrubias
March 2025	Marlow	Christensen	Connally
April 2025	Roden	Koegler will be absent April 7&14	Connally
May 2025	Neel	Roden	Koegler
June 2025	Neel	Christensen	Koegler
July 2025	Marlow	Connally	Covarrubias
August 2025	Marlow	Koegler	Connally
September 2025	Neel	Roden	Koegler
October 2025	Roden	Christensen	Covarrubias
November 2025	Marlow	Christensen	Covarrubias
December 2025	Marlow	Koegler	Connally
January 2026	Neel	Roden	Connally
February 2026	Neel	Roden	Christensen